



RP+5
Regional Plan 5 Year Review

Presentation of Staff Report and Draft 3

Community Design Advisory Committee

October 2, 2013



Overview

- **Sept. 23:** Presentation of Draft Revised Regional Plan and Staff Report to CDAC (*cancelled*)
- **Sept. 25:** Heritage Advisory Committee (*cancelled*)
- **Oct. 2** CDAC Presentation, Debate, Recommendation*
- HAC
- CPED
- Regional Council First Reading

* Additional meetings may be necessary and schedule may change as a result.

Recommendation

It is recommended that Community Design Advisory Committee recommend that the Community Planning and Economic Development Standing Committee recommend that Regional Council give first reading and schedule a public hearing to consider:

1. repealing the existing Regional Municipal Planning Strategy; and
2. adopting the proposed Regional Municipal Planning Strategy as contained in Attachment A.

Staff Report

- Origin, Legislative Authority
- Recommendations
- Executive Summary
- Background (Research and Community Engagement)
- Discussion (Major Policy Changes, Housekeeping Amendments and Future Work)
- Financial Implications
- Alternatives

Rationale for proposed changes

- Council approved project scope
 - No changes to foundation elements such as GFLUM
- Regional Plan Principles and need to meet growth targets
- Cost savings related to managing growth sustainably & efficient implementation
- Research
- Community input
- Efficient and timely implementation

Studies

Prepared for
Halifax Regional Municipality

Consulting Services for
Final Report
Infrastructure Charges Study

Prepared by
SGE Acres Limited

September 2008
H-732271



Study Prepared For
Strategic Urban Partnership (SUP) Transition Working Group
c/o Halifax Regional Municipality
P.O. Box 1799
6251 Duke Street, Third Floor

Prepared by:
Altra Group Limited © 2012

Halifax Regional Municipality
Birch Cove Lakes Watershed Study
Final Report

Prepared by:
AECOM
1751 HARBOR DRIVE
DANFORTH (PO Box 679 ONT)
905-428-2021 (R)
905-428-2031 (M)

Environment



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**Economic Impacts of Growth
Related Infrastructure Costs**

Submitted to:
Halifax Regional Municipality,
Halifax Regional Water Commission

Prepared by:
Gardner Pinfold

June 2013



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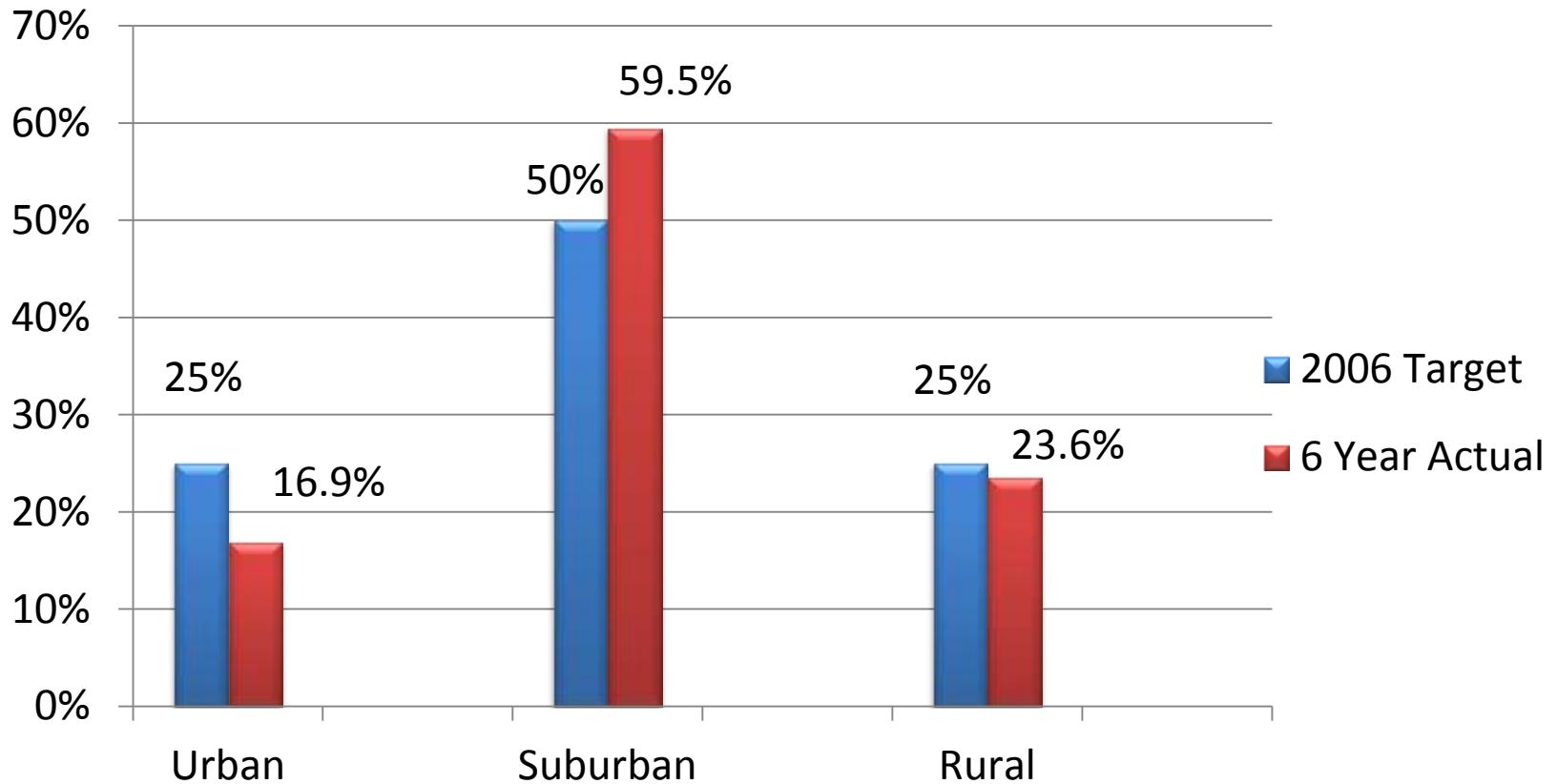
FINAL REPORT

Quantifying the Costs and Benefits to HRM, Residents and
the Environment of Alternate Growth Scenarios

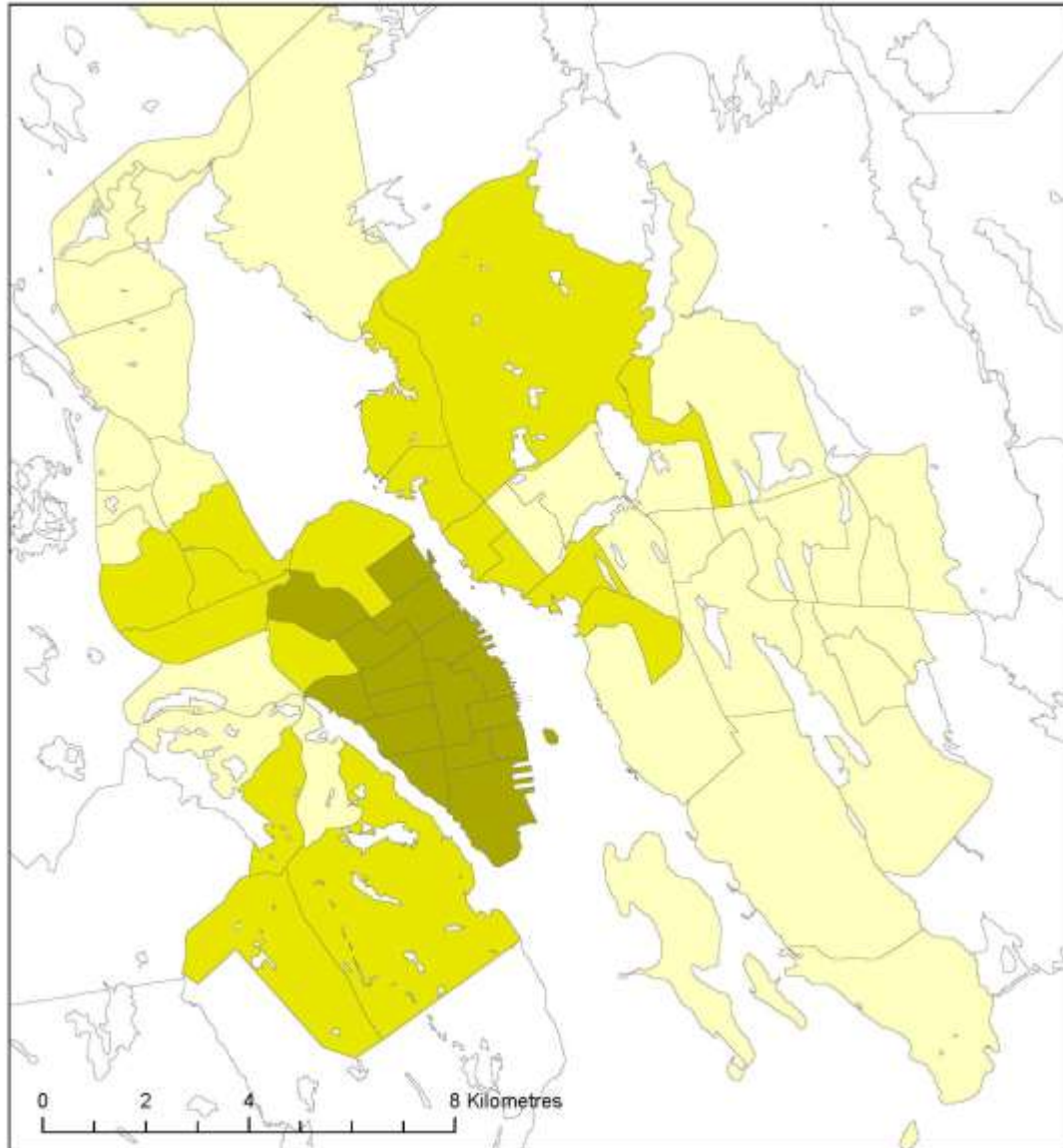
Halifax Regional Municipality, Nova Scotia
April 2013



Trend in Growth Targets



Source: CMHC, 2006-2012 New Housing Starts



Legend

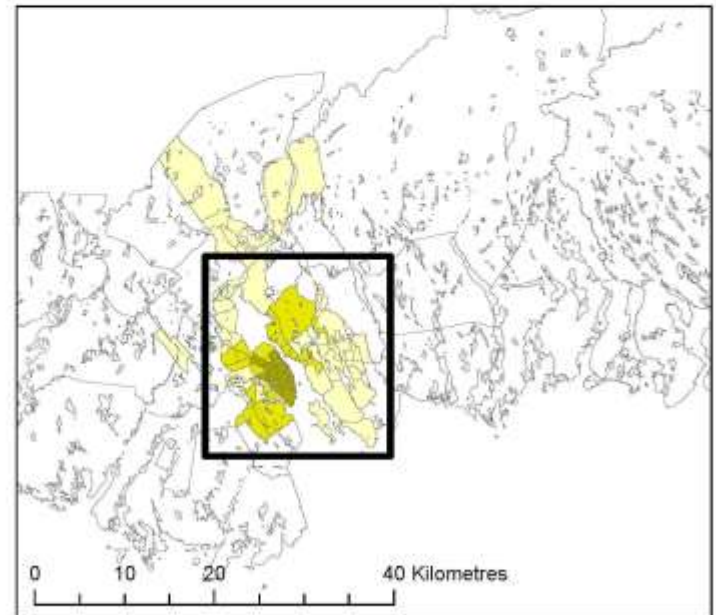
- Active Core
- Transit Suburb
- Auto Suburb
- Exurban

Halifax

Transportation Method T8

Active Core: 14%
Transit Suburb: 18%
Auto Suburb: 44%
Exurban: 24%

Census Tract and Population Data: 2011 Census
Census Tract Classification: 2006



Queen's University School of Urban and Regional Planning
Principal Investigator: David Gordon
Research Assistant: Isaac Shirokoff



How does HRM compare?

- **Population in Active Core & Transit Suburbs (2011)**
- Halifax: 32%
- Kingston: 31%
- Victoria, Vancouver, London: 28%

“Taken together, Halifax seems to have Canada’s best performance on urban structure (32% of population living in Active cores + Transit suburbs) and growth (24% of population growth occurring in Active cores + Transit suburbs)”
David Gordon

How does HRM compare?

	HRM		All CMAs	
	2011 Pop (%)	(%) Total Growth 2006-2011	2011 Pop (%)	(%) Total Growth 2006-2011
Active	13.8%	13%	12%	6%
Trans	18.4%	10%	11%	4%
Auto	43.7%	50%	69%	80%
Exurban	24.1%	26%	8%	10%
Total				

Source: Queen's University School of Urban and Regional Planning

What is changing - Key Policy Goals

1. Revised Community Design Program
2. Enhanced Regional Centre
3. Integrated Land Use and Transportation
4. Protected Industrial Land Holdings
5. Plan Performance Measurement



Targets

- The Regional Plan shall target at least 75% of new housing units to be located in the Regional Centre and suburbs with at least 25% of new housing units within the Regional Centre over the life of this Plan (Objectives).
- **Increase AT and Transit Share 2006-2031 (T-12)**
 - Regional Centre: 53% ➡ 60%
 - Inner Suburban: 19% ➡ 26%
 - Suburban-Rural Edge: 11% ➡ 14%

Regional Centre Focus

- **The Regional Centre Plan** in accordance with HRMbyDesign Vision and Principles (RC-3)
- **Commitment to implement Economic Strategy** (RC-4);
- **Commitment to work towards tax incentives** with priority on the Regional Centre (E-16)
- **Immediate re-zoning of Burnside extension lands** to limit retail uses (EC-5);
- **Protection of industrial harbour lands** (EC-12-EC-13)
- **Urban Transit Service Boundary** (T-8 & Map 7)
- **Priority investment in active transportation** in the Regional Centre (T-5)

Regional Centre Focus

- **Emphasis on Regional Centre** in the Greenbelting & Public Open Space and Culture & Heritage **Priorities Plans**
- **Commitment to developing Heritage Conservation Districts (CH-7)**
- **Incentives for undergrounding in the Regional Centre (SU-23-24)**
- **Support for affordable housing (S-29-33)**
- **Commitment to “complete streets” policy** to support pedestrians, bicyclists, and public transit to improve public health and safety (T-3)

Suburban Community Design

- **Growth targets** added as a criterion for initiating secondary planning (S-2);
- **Clarification that abutting designation** amendments must be limited in scale (G-15);
- Clear **direction to future secondary planning efforts** (S-9, Objectives, Table 3-1);
 - **Land use and design** (mix of uses and medium to high densities, encourage infill, pedestrian orientation)
 - **Transit, AT and Parking** (pedestrian oriented transit stops, permit transit uses in all zones on major roads)
 - **Open space** (streetscaping, food security, connected parkland)
 - **Culture and Heritage** (built heritage, cultural landscapes)
 - **Healthy Communities** (aging in place, food security, affordable housing, etc.)

Suburban Community Design

- **Urban Transit Service Boundary** (T-8 and Map 7)
- **Commitment to “complete streets” policy** (T-3)
- Policy support for **transit oriented development** (T-10, Table 3-1 and 3-3)
 - Density targets (medium to high)
 - Mix of land uses
 - Capital investments
 - Connected transit uses and pedestrian linkages
 - Parking at rear
 - Pedestrian oriented buildings
 - Infill and redevelopment of large parking lots
 - Consideration of existing affordable housing in secondary planning;

Suburban Community Design

- **Greenbelting and Public Open Space Priorities Plan** to compliment community design policies (E-11)
- **Mandatory undergrounding from home to pole** (SU-25)
- Policy to consider a new **by-law to protect trees within riparian buffers** (E-19)
- **Protection of greenways** as part of secondary planning and development agreements (T-4)
- **Stormwater management and erosion & sedimentation control by-law** for Council to consider (SU-7 &SU-8)
- Consideration to support **stormwater retrofits** to mitigate flooding, improve water quality and allow for daylighting (SU-9).

Rural Community Design

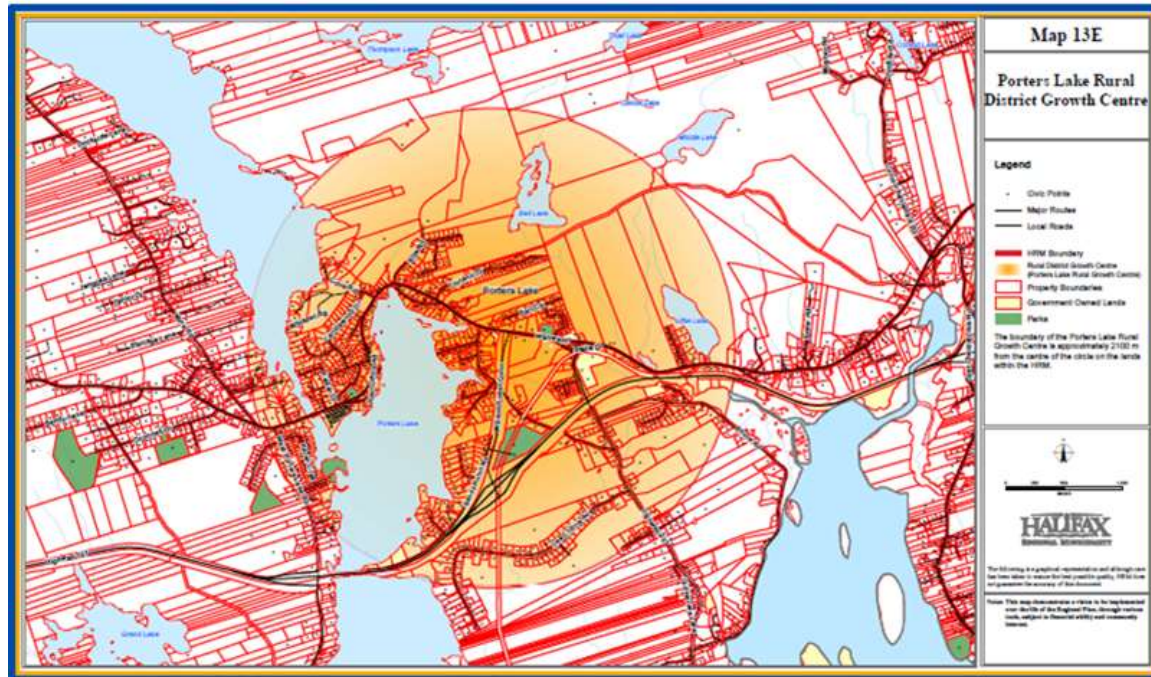
- **Defining** rural growth centres (Table 3-2, S-14 and Maps 13 A-F)
- **Revised** approach to rural **conservation design** (S. 3.4.1)
- **Limits** on growth **between centres** (S-15)
- Policy to **limit retail development between centres** (S-13)
- Policy for Council to consider a new by-law to **protect trees within riparian buffers** (E-19)

Rural Community Design

- A new requirement is made under the Regional Subdivision By-law for:
 - **a hydrogeological assessment** of adequacy of water supply for all subdivision applications for ten or more new dwelling units (SU-21)
 - **underground placement** of electrical and communication distribution lines **from the poles to the street right-of-way** for all subdivisions where new streets are proposed (SU-25)

Rural Community Design

- The boundary for Porters Lake may be expanded in the event that provision of water and wastewater services is not financially feasible (S-10)



Performance Measures (Appendix A)

1. Housing starts (**growth targets**)
2. Land supply
3. Plans, processes, Studies and Policies
4. Development Activity, Permits and Applications
5. Mobility Choice (**work trip targets**)
6. Population growth

Performance Measures

8. Sustainable infrastructure
9. Housing Choice and Affordability
10. Economic Growth
11. Workforce Vibrancy and Sustainability
12. Citizen Satisfaction
13. Cultural Vibrancy and Lifestyle

Changes Draft 2-3

- Growth targets re-worded and included in objectives (Ch.3)
- Modal split targets re-introduced (T-12)
- Refined open space planning framework (Table 2-1)
- Modified scope of the Greenbelting and Public Open Spaces Priorities Plan (E-11)
- Energy efficiency and sustainable design; community food security and aging in place added to community design objectives (Ch. 2 Objectives)
- Simplified text related to rural conservation design (S. 3.4.1)

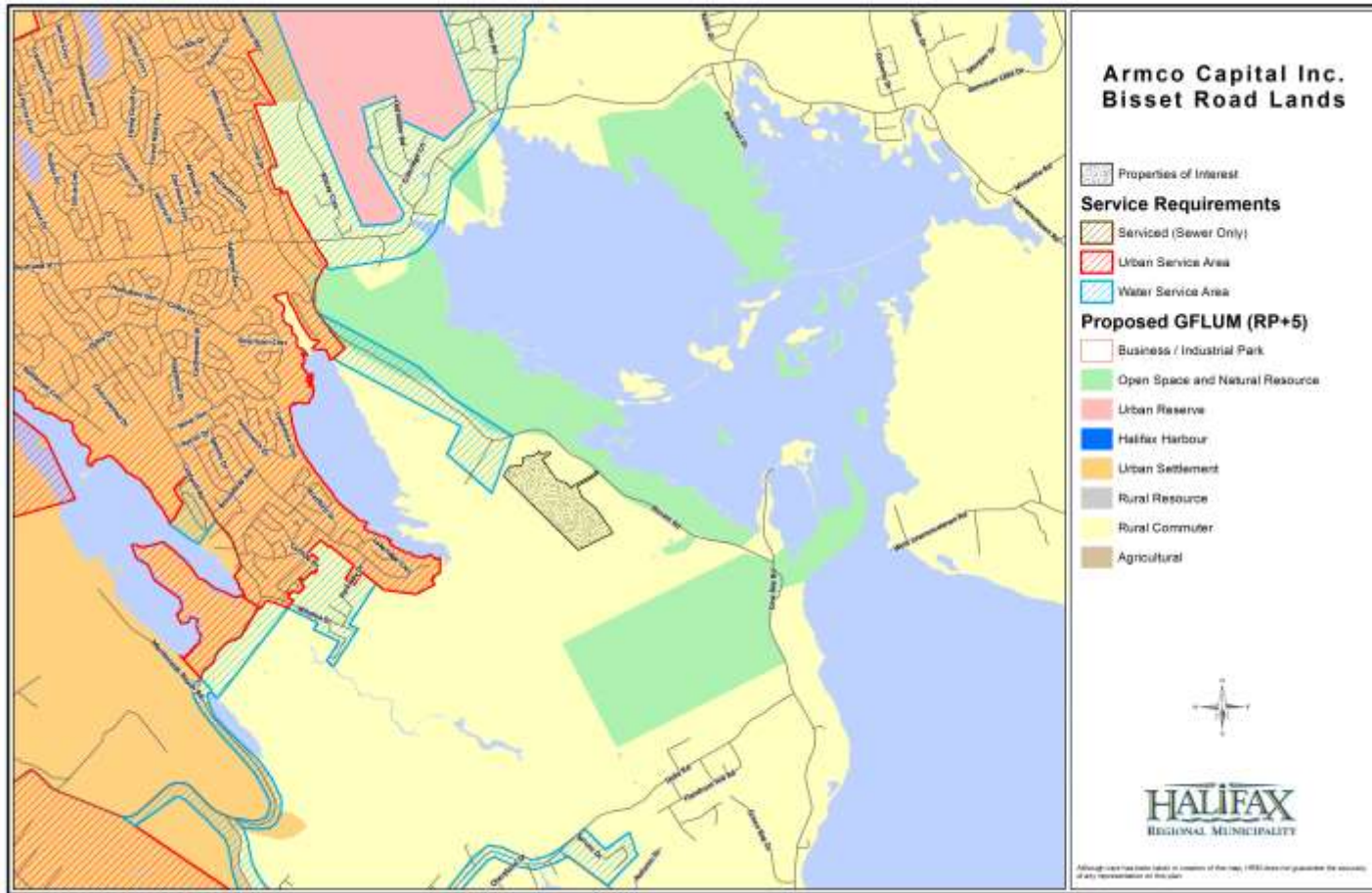
Changes Draft 2-3

- Road Classification Network Map removed
- Commitment to undertake public consultation prior to moving ahead with regional road projects (T-14)
- Water Supply Areas Map added (Map 12)
- Increased protection for established or proposed water supply areas through land use by-laws (E-14)
- Immigration Action Plan included (EC-2)
- Strategic directions of Cultural Plan included (CH-1)
- Recognition of the importance of professional arts (S. 7.1)
- Seek to address land title issues in North Preston, East Preston, Cherry Brook (EC-14)

Requests for changes in land use designations NOT recommended

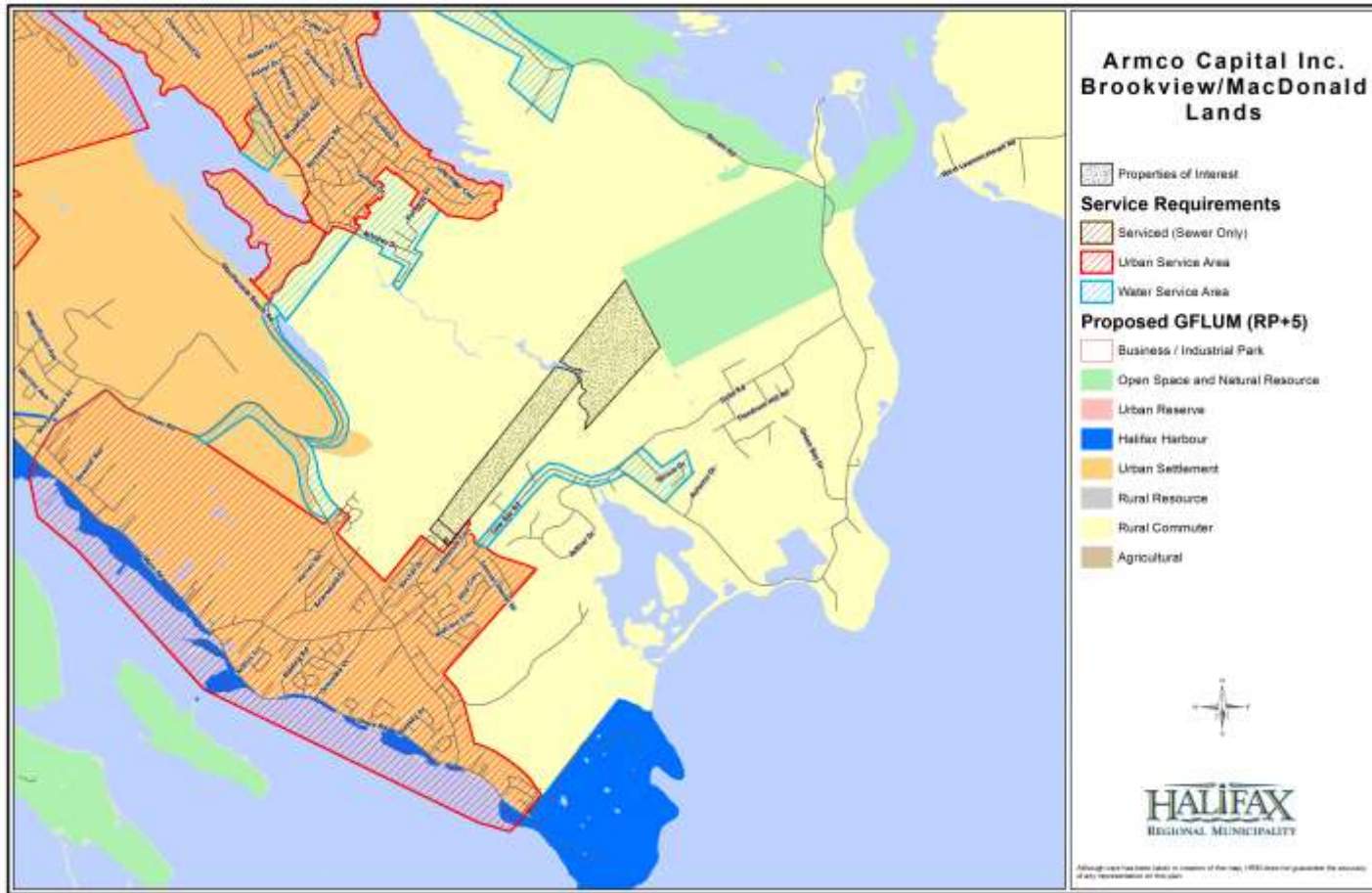
Request

to be included in Urban Reserve



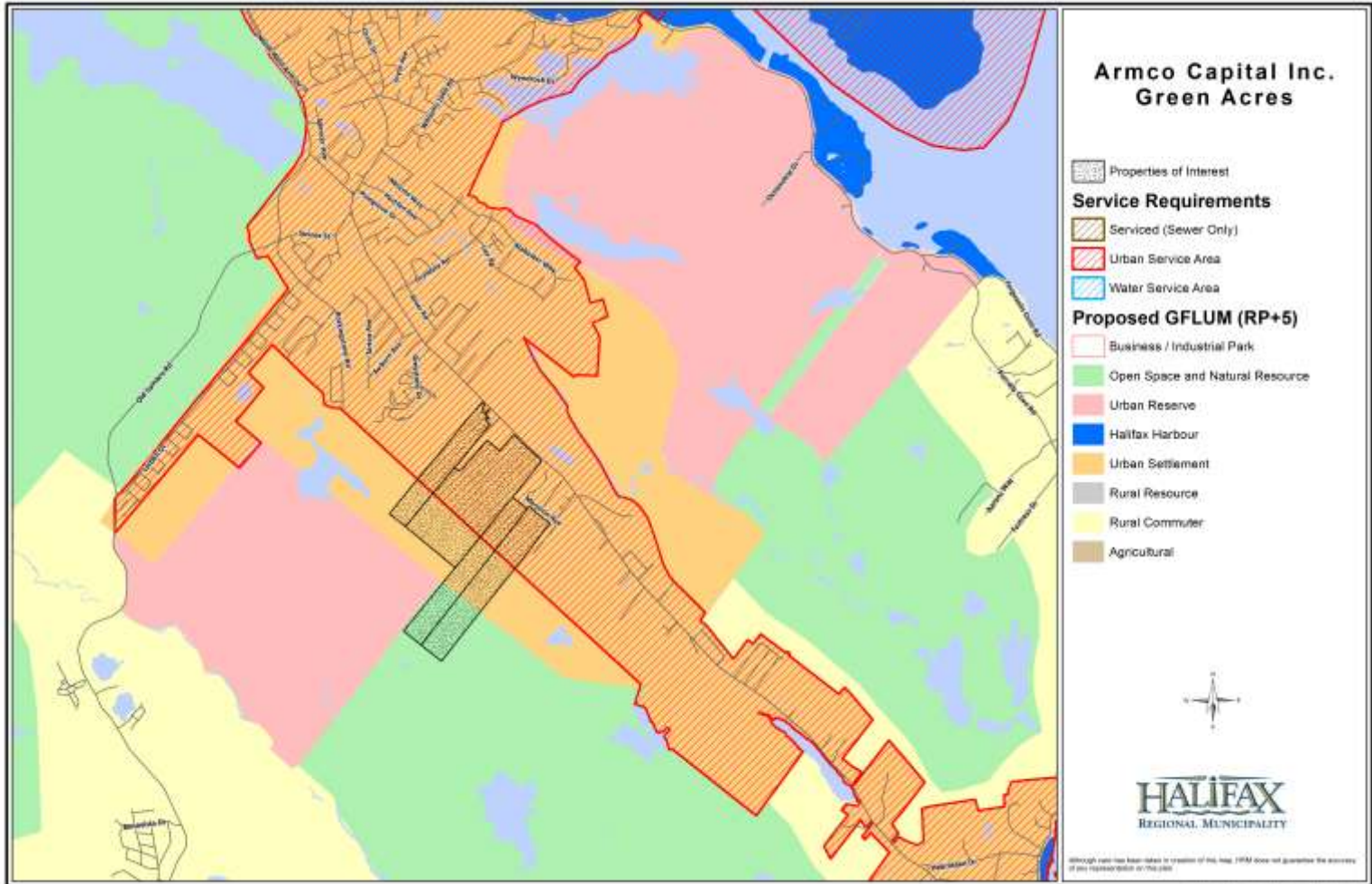
Request

to be included in Urban Reserve



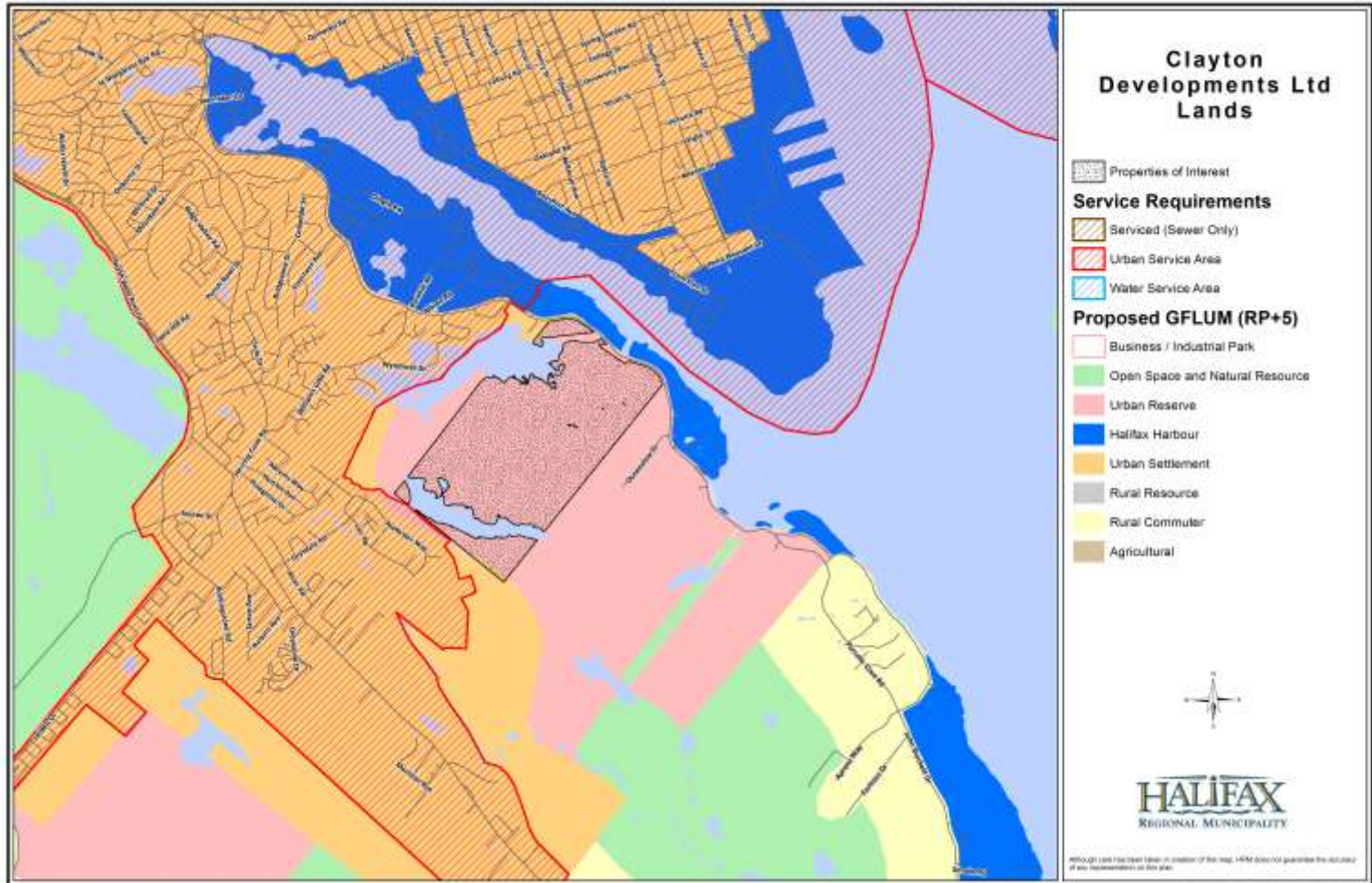
Request

to be included in Urban Reserve



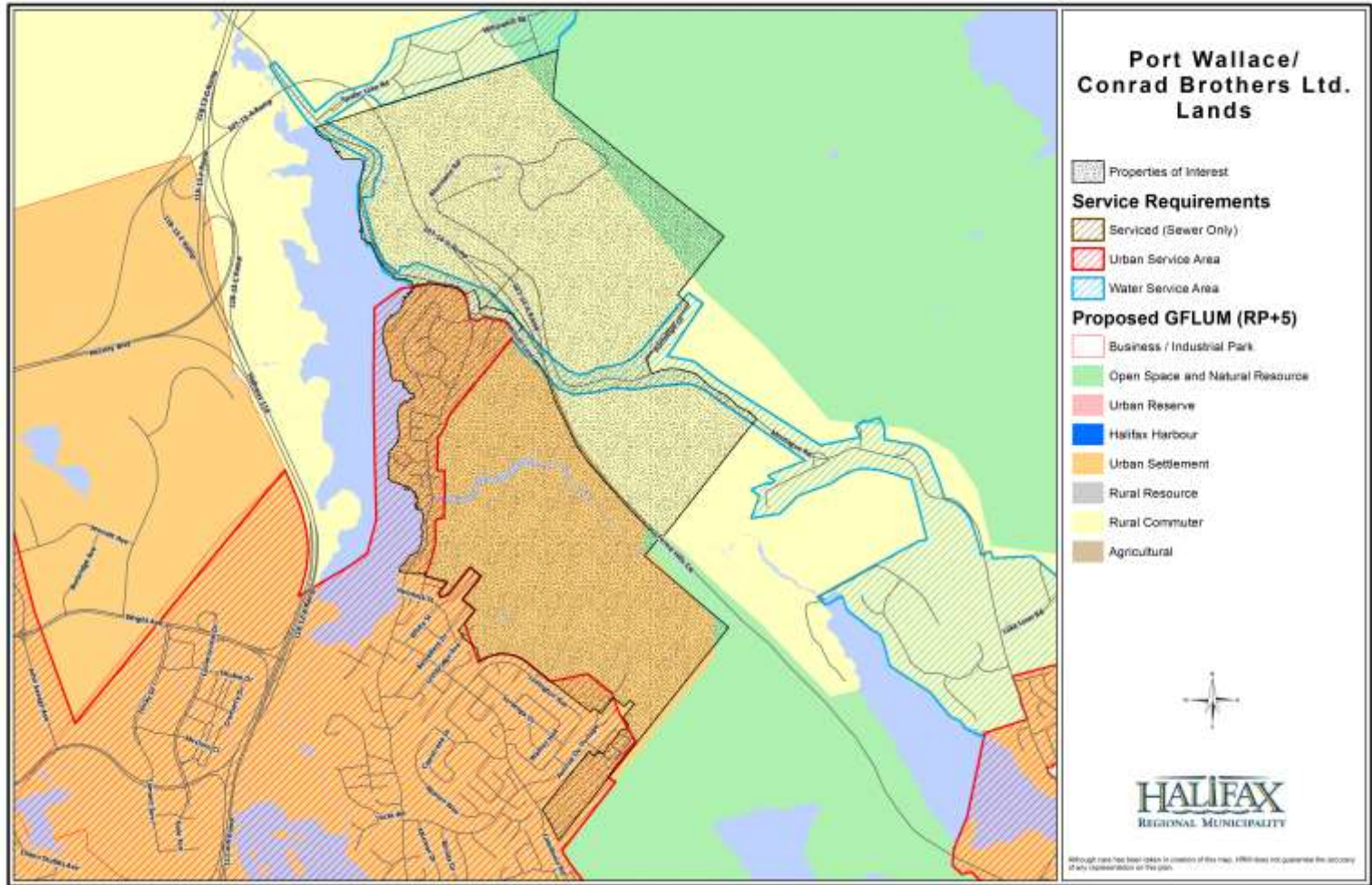
Request to be included in

Urban Settlement & re-zoned RDD



Request to be included

in the secondary planning process



Urban Reserve

- Urban Development Institute request that at minimum urban reserve designation permit Option 2 under Rural Conservation Design Subdivision

Housekeeping Amendments

- Opportunity to correct:
 - minor mapping and zoning errors;
 - updating current zoning and land use designations based on public or private conservation designation;
 - minor clarifications to the provisions within land use by-laws or subdivision regulations.

Alternatives

1. Increase Regional Centre growth targets
2. Revert to the term “open space”
3. Further reduce caps on rural subdivisions between centres
4. Defer undergrounding
5. Increase setbacks from watercourses
6. Allow congestion to increase over time
7. Adopt a higher standard for coastal elevation

Implementation

- Secondary Planning Processes
- Major Studies
- Priorities Plans
- By-laws
- Protocols and guidelines

Status of Priorities Plans

Complete

- Active Transportation
- Regional Parking Strategy
- Transportation Demand
- Transit 5-year Service Plan
- Emissions Reduction
- Water Quality Monitoring
- Cultural Plan
- Community Energy
- Business Parks
- Urban Forest Master Plan
- Wastewater Management
- Community Engagement (Communication and Public Education)
- Urban Design Guidelines (partial)
- Capital District Public Infrastructure (partial)
- Finance (Business Location Analysis)
- Welcoming Newcomers
- Community Facilities Master Plan

RP+5 Policy

- Halifax Harbour
- Underground Utilities
- Stormwater Management
- Communication Towers and Antenna

Centre Plan

- Opportunity Sites
- Affordable Housing
- Urban Design Guidelines
- Capital District Public Infrastructure

Greenbelting and Public Open Space

- Open Space
- Potential Hazards to Development

Transportation

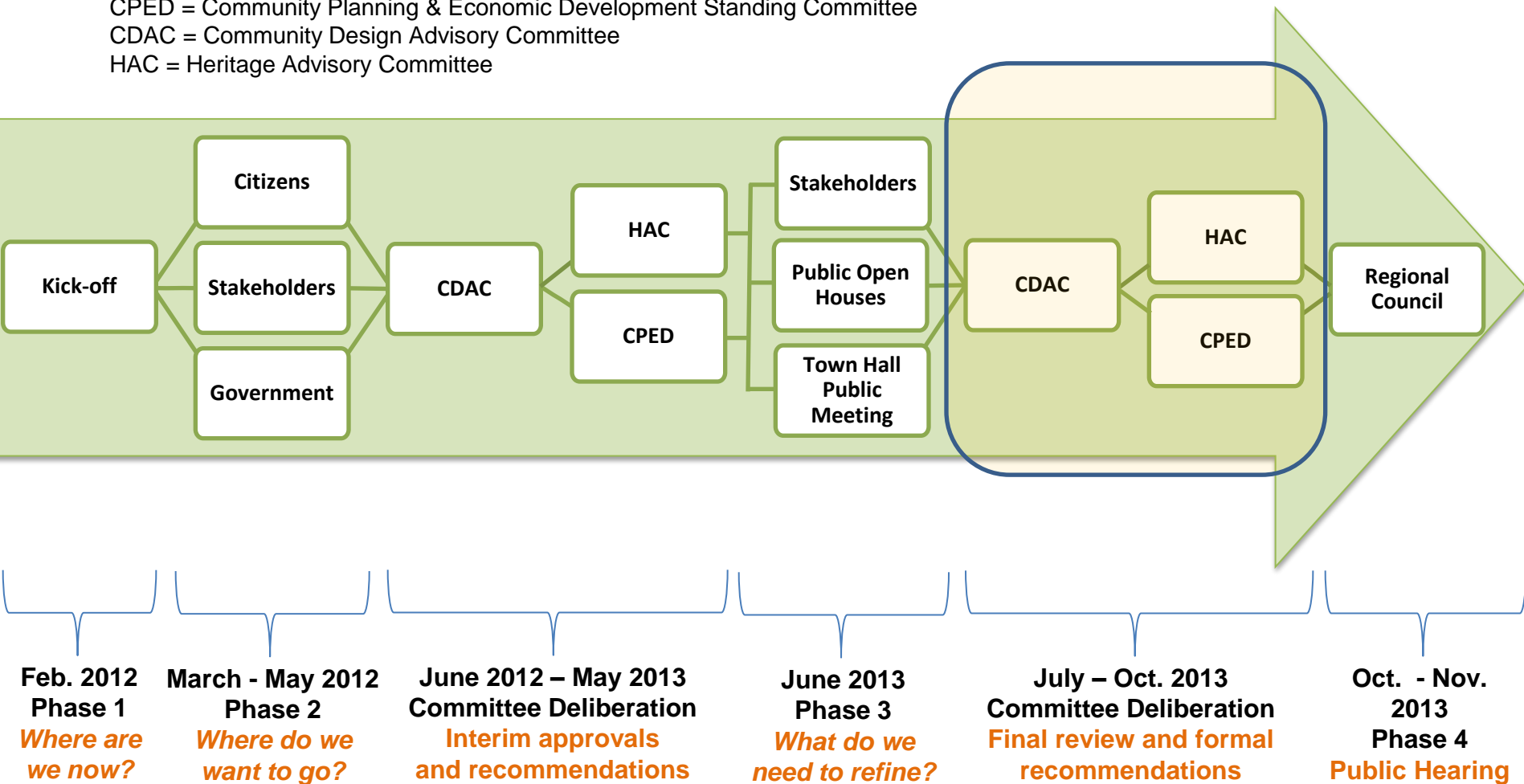
- Road Network

Culture and Heritage

- Cultural Plan
- Heritage
- Social Heritage

RP+5 Process

CPED = Community Planning & Economic Development Standing Committee
 CDAC = Community Design Advisory Committee
 HAC = Heritage Advisory Committee



Feb. 2012
Phase 1
Where are we now?

March - May 2012
Phase 2
Where do we want to go?

June 2012 – May 2013
Committee Deliberation
Interim approvals and recommendations

June 2013
Phase 3
What do we need to refine?

July – Oct. 2013
Committee Deliberation
Final review and formal recommendations

Oct. - Nov. 2013
Phase 4
Public Hearing



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Regional Plan 5 Year Review

Thank you



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planhrm@halifax.ca

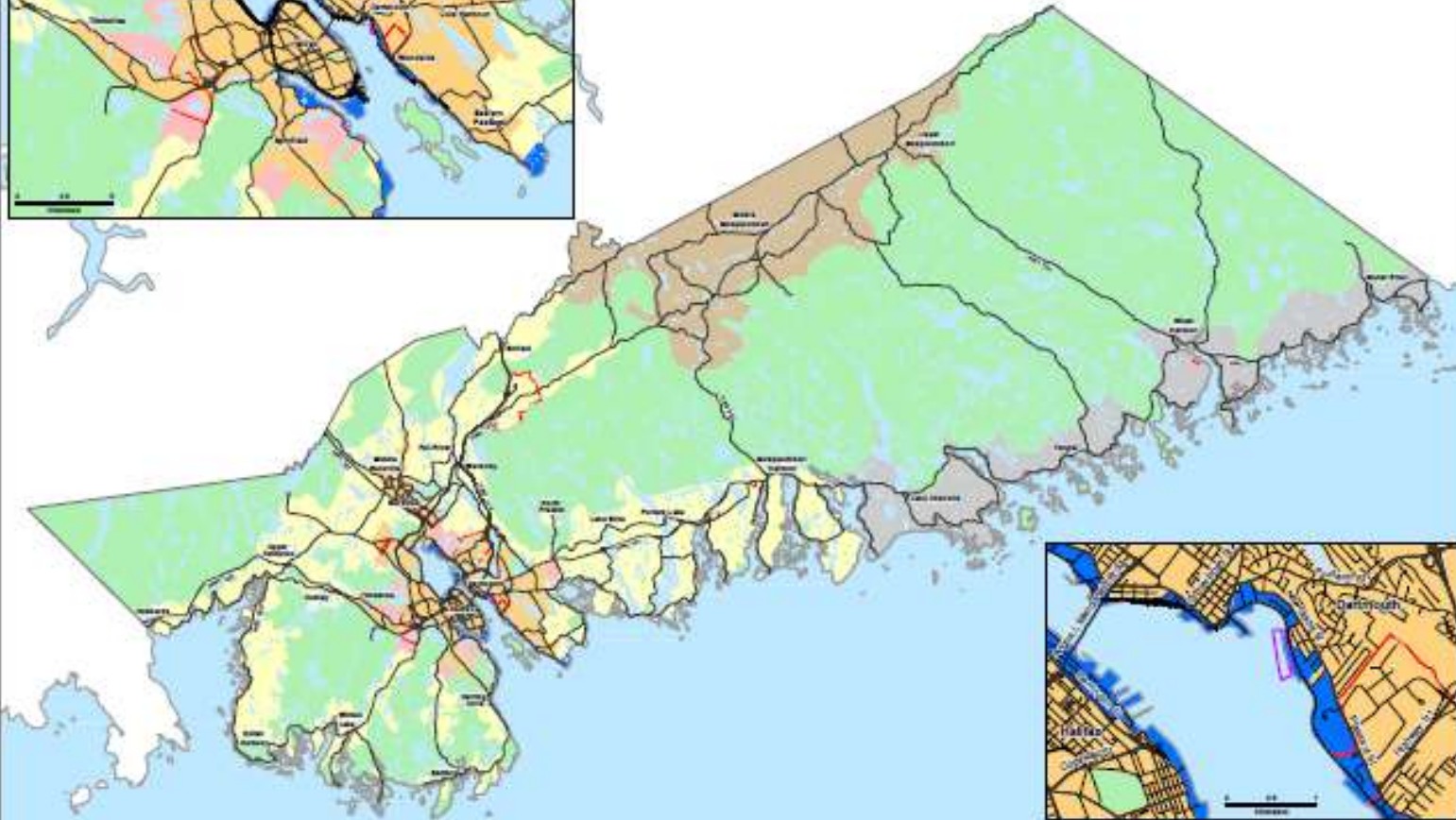
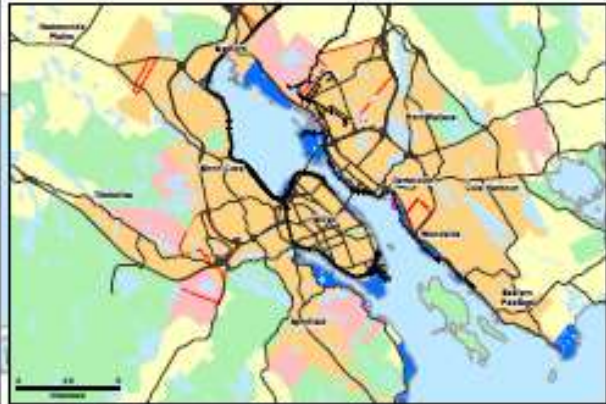


[@PlanHRM](https://twitter.com/PlanHRM)



www.facebook.com/PlanHRM

Generalized Future Land Use



Map 2

Draft 3.0



Generalized Future Land Use

Legend

Primary Designations

-  Urban Settlement
-  Urban Reserve
-  Halifax Harbour
-  Rural Controller
-  Rural Resource
-  Agricultural
-  Open Space and Natural Resource

Sub-Designations

-  Business / Industrial Park
-  Harbour Industrial



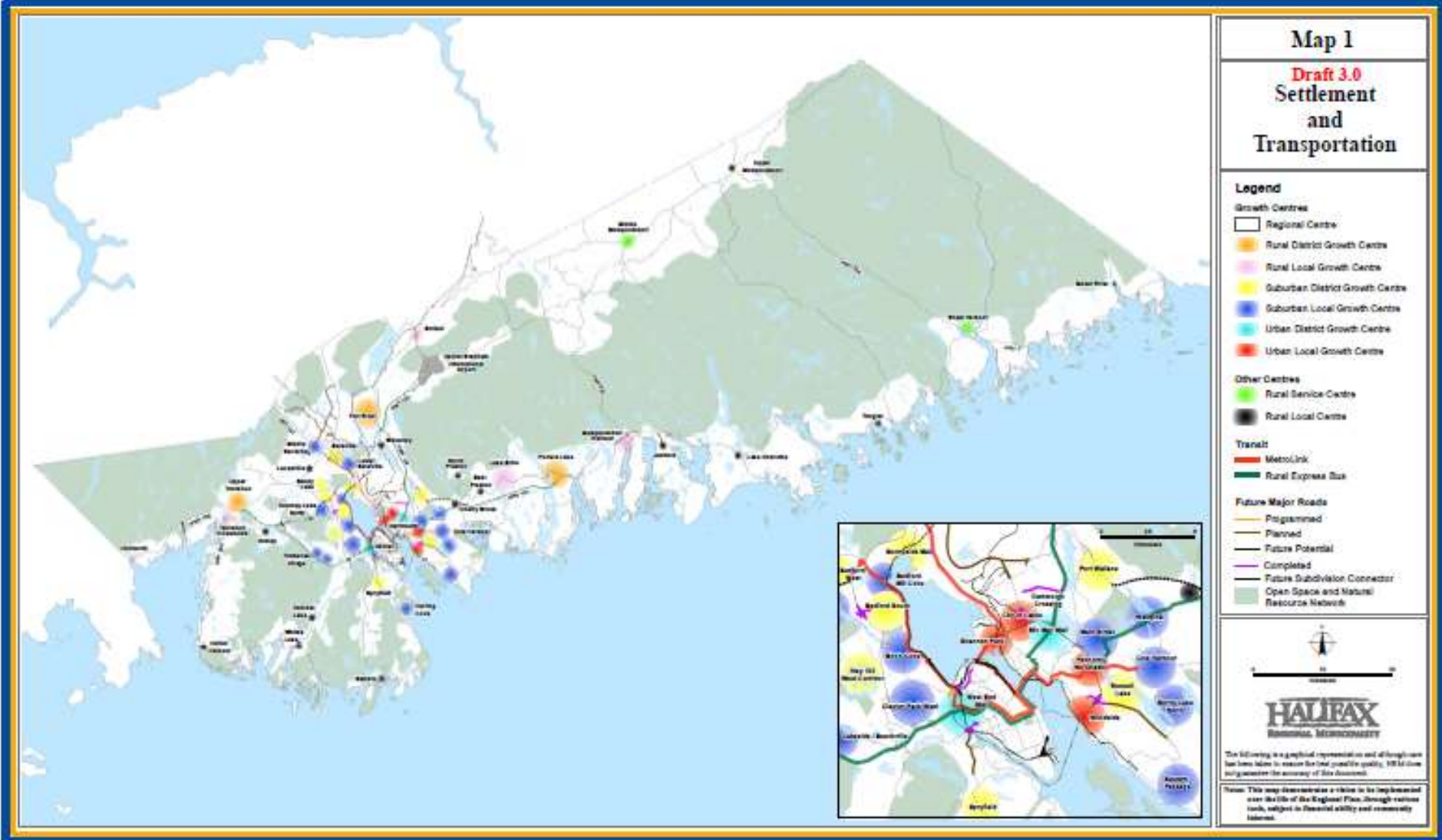
The following is a graphical representation and although care has been taken to ensure the best possible quality, HRM does not guarantee the accuracy of this document.

Notes: This map represents a vision to be implemented over the life of the Regional Plan, through various tools, subject to financial ability and reasonably interest.

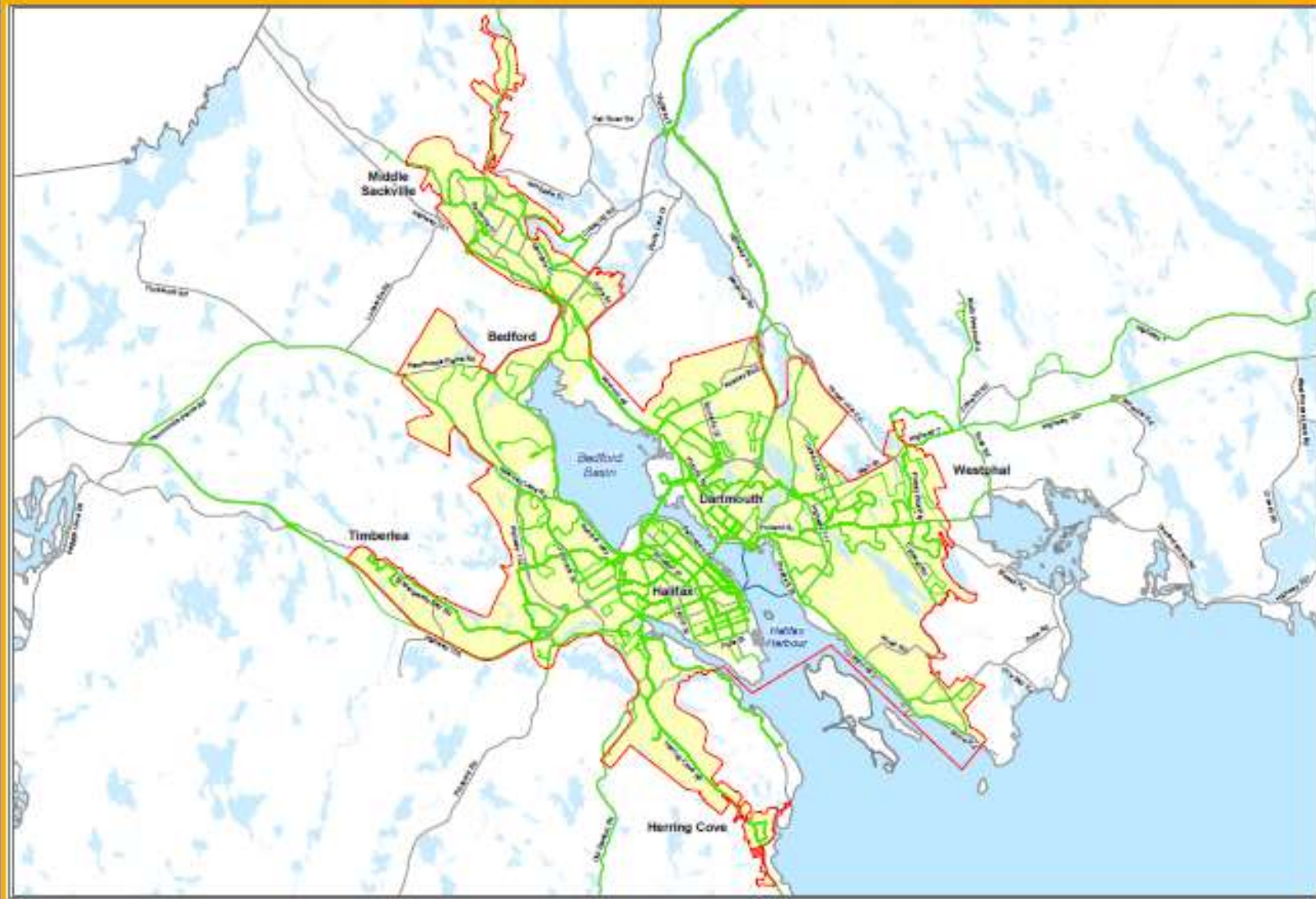
8 May 2012
Issued: 15 March 2014

Revised: 14 August 2014
Updated: 27 June 2014

Settlement and Transportation



Urban Transit Service Boundary



Map 7
Draft 3.0
Urban Transit Service Boundary

- Legend**
- Urban Transit Service Boundary
 - Ferry Routes
 - Existing Bus Routes
 - Urban Settlement Designation

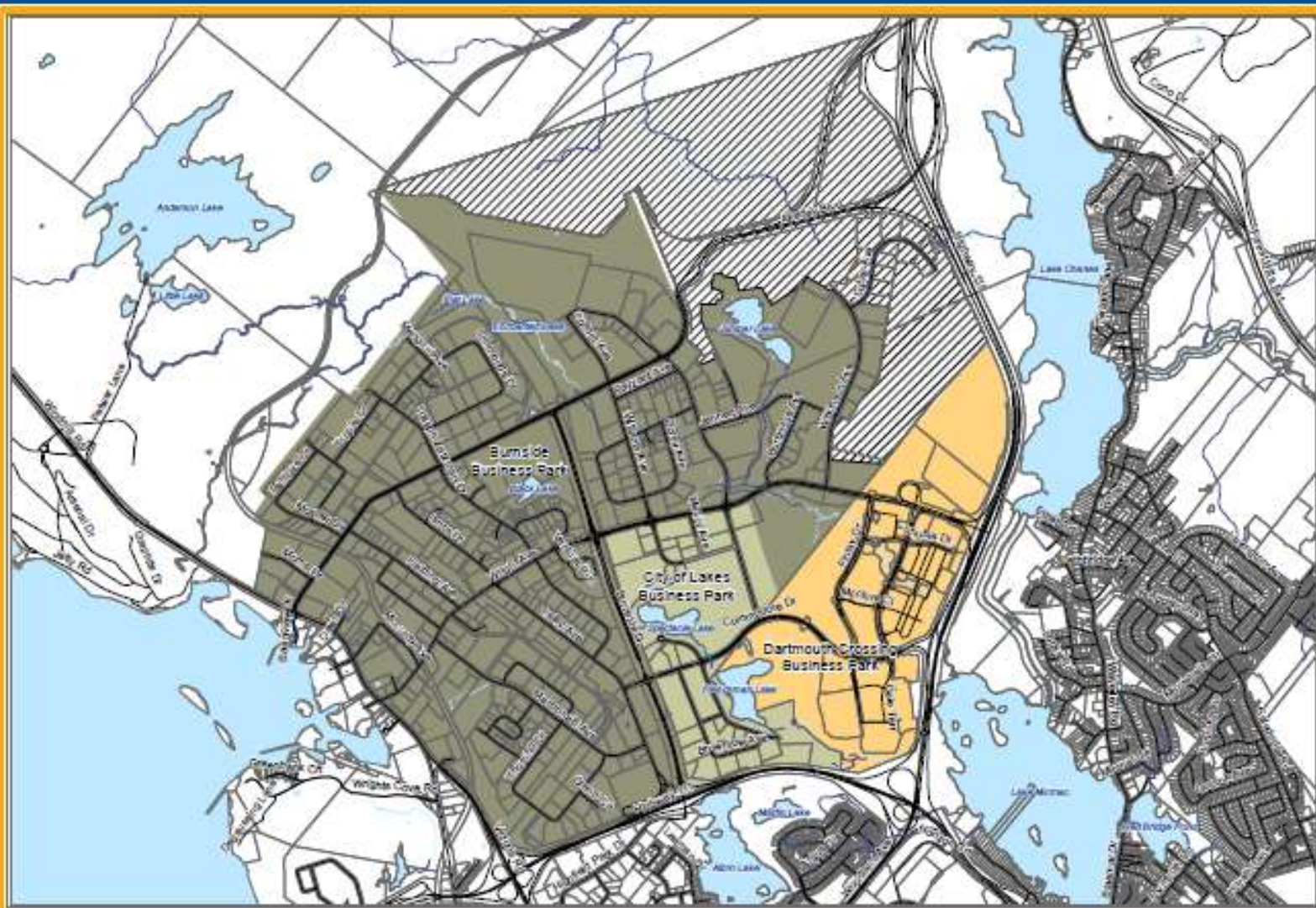
Scale: 0 to 2 Kilometers

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Note: This map documentation is a plan to be implemented over the life of the Regional Plan, through various acts, subject to financial ability and community interest.

Burnside Area







Map 10

Draft RP+5

Burnside Area

Legend

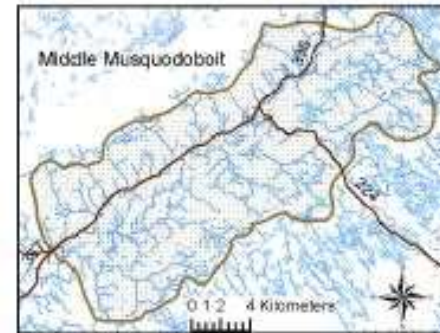
-  Burnside Business Park
-  City of Lakes Business Park
-  Dartmouth Crossing Business Park
-  Burnside Business Park Expansion Area



The following is a graphical representation and all geographic features shown are to ensure the best possible quality. RRAL does not guarantee the accuracy of this document.

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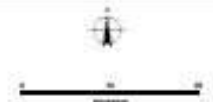
Water Supply Areas



Map 12

Draft 3.0

HRM Surface Water Supplies



The following is a graphical representation and although every effort is made to ensure the best possible quality, HRM does not guarantee the accuracy of this document.

Notes: This map demonstrates a vision to be implemented over the life of the Regional Plan, through various lands, subject to financial ability and necessary permits.