

HRM PLANNING AND INFRASTRUCTURE - WESTERN REGION

MEMORANDUM

To:

Chair and Members of the Halifax Watershed Advisory Board

From:

Paul Sampson, HRM Planner, Western Region (Bayers Road Centre)

Date:

January 10, 2012

Re:

Stage II Development Agreement, Block C, Washmill Lake Drive

Application:

Application by Clayton Developments Ltd. on behalf of 3256552 Nova Scotia Limited for a Stage II development agreement to allow for a 35-unit townhouse development on Block C, Washmill Lake Drive, Clayton Park West Phase 5, Halifax. The application proposes 35 townhouses (with a theoretical population of 117.25 persons) on a single property, in a condominium arrangement, accessed via a private driveway and serviced with a private, internal system. A private clubhouse/recreation centre to serve the townhouse residents is also proposed.

Location:

The property fronts on Washmill Lake Drive between Hwy. #102 and Bently Drive, Halifax and abuts lands of the Halifax Regional Water Commission to the north and east and private land (Block "B") to the west. The property is approximately 8.7 acres in size. The land is zoned as Schedule "K" under the Halifax Municipal Planning Strategy which requires a two-stage development agreement process.

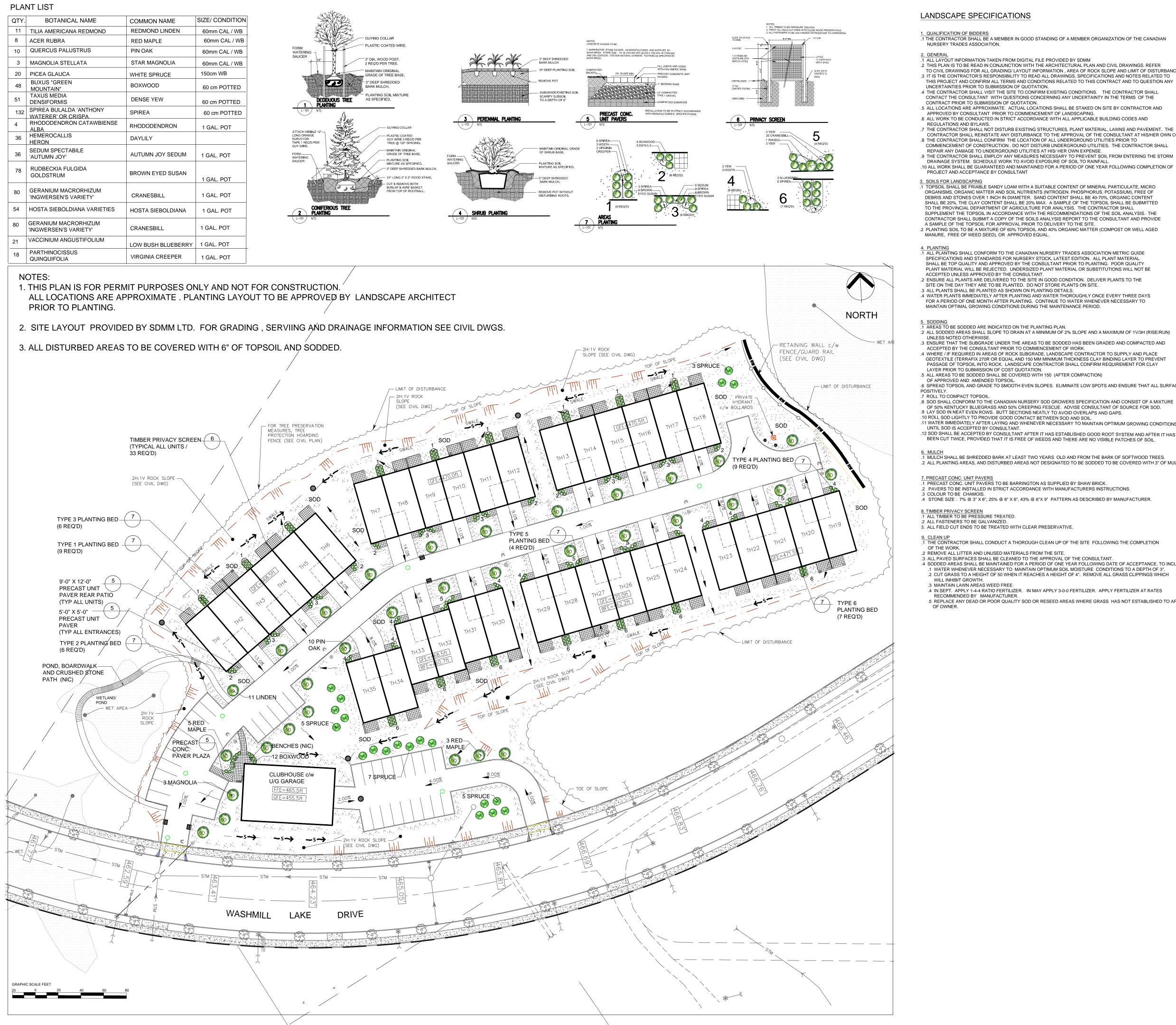
Site Features:

This "greenfield" site is mostly treed and consists of bedrock at or near the surface. The site includes wet areas which, like much of the remaining treed areas, are proposed to be left undisturbed.

Watershed Advisory Board:

Pursuant to the Board's terms of reference, your input with respect to the potential impact of this proposal on the wetlands/ watercourses is requested.

Attachments: - Landscape Plan, Site Servicing Schematic, Site Grading, Erosion & Sediment Control schematic, Stormwater Management schematic *(Slate management plan has also been prepared but not attached)



LANDSCAPE SPECIFICATIONS

PROJECT AND ACCEPTANCE BY CONSULTANT

1. QUALIFICATION OF BIDDERS 1 THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF A MEMBER ORGANIZATION OF THE CANADIAN NURSERY TRADES ASSOCIATION.

2. GENERAL
1. ALL LAYOUT INFORMATION TAKEN FROM DIGITAL FILE PROVIDED BY SDMM 2 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL PLAN AND CIVIL DRAWINGS. REFER TO CIVIL DRAWINGS FOR ALL GRADING/ LAYOUT INFORMATION , AREA OF ROCK SLOPE AND LIMIT OF DISTURBANCE. .3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ ALL DRAWINGS, SPECIFICATIONS AND NOTES RELATED TO THIS PROJECT AND CONFIRM ALL TERMS AND CONDITIONS RELATED TO THIS CONTRACT AND TO QUESTION ANY UNCERTAINTIES PRIOR TO SUBMISSION OF QUOTATION. .4 THE CONTRACTOR SHALL VISIT THE SITE TO CONFIRM EXISTING CONDITIONS. THE CONTRACTOR SHALL CONTACT THE CONSULTANT WITH QUESTIONS CONCERNING ANY UNCERTAINTY IN THE TERMS OF THE CONTRACT PRIOR TO SUBMISSION OF QUOTATION. ALL LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS SHALL BE STAKED ON SITE BY CONTRACTOR AND APPROVED BY CONSULTANT PRIOR TO COMMENCEMENT OF LANDSCAPING.

 ALL WORK TO BE CONDUCTED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND .7 THE CONTRACTOR SHALL NOT DISTURB EXISTING STRUCTURES. PLANT MATERIAL, LAWNS AND PAVEMENT. THE CONTRACTOR SHALL REINSTATE ANY DISTURBANCE TO THE APPROVAL OF THE CONSULTANT AT HIS/HER OWN COST.

8 THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION . DO NOT DISTURB UNDERGROUND UTILITIES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES AT HIS/ HER OWN EXPENSE. .9 THE CONTRACTOR SHALL EMPLOY ANY MEASURES NECESSARY TO PREVENT SOIL FROM ENTERING THE STORM DRAINAGE SYSTEM. SCHEDULE WORK TO AVOID EXPOSURE OF SOIL TO RAINFALL.

3. SOILS FOR LANDSCAPING
.1 TOPSOIL SHALL BE FRIABLE SANDY LOAM WITH A SUITABLE CONTENT OF MINERAL PARTICULATE, MICRO ORGANISMS, ORGANIC MATTER AND SOIL NUTRIENTS (NITROGEN. PHOSPHORUS. POTASSIUM), FREE OF DEBRIS AND STONES OVER 1 INCH IN DIAMETER. SAND CONTENT SHALL BE 40-70%, ORGANIC CONTENT SHALL BE 20%, THE CLAY CONTENT SHALL BE 20% MAX. A SAMPLE OF THE TOPSOIL SHALL BE SUBMITTED TO THE PROVINCIAL DEPARTMENT OF AGRICULTURE FOR ANALYSIS. THE CONTRACTOR SHALL SUPPLEMENT THE TOPSOIL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOIL ANALYSIS. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SOILS ANALYSIS REPORT TO THE CONSULTANT AND PROVIDE A SAMPLE OF THE TOPSOIL FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.

2 PLANTING SOIL TO BE A MIXTURE OF 60% TOPSOIL AND 40% ORGANIC MATTER (COMPOST OR WELL AGED MANURE, FREE OF WEED SEED), OR APPROVED EQUAL.

4. PLANTING
1. ALL PLANTING SHALL CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS AND STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL PLANT MATERIAL SHALL BE TOP QUALITY AND APPROVED BY THE CONSULTANT PRIOR TO PLANTING. POOR QUALITY PLANT MATERIAL WILL BE REJECTED. UNDERSIZED PLANT MATERIAL OR SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS APPROVED BY THE CONSULTANT. .2 ENSURE ALL PLANTS ARE DELIVERED TO THE SITE IN GOOD CONDITION. DELIVER PLANTS TO THE

SITE ON THE DAY THEY ARE TO BE PLANTED. DO NOT STORE PLANTS ON SITE. .3 ALL PLANTS SHALL BE PLANTED AS SHOWN ON PLANTING DETAILS.
.4 WATER PLANTS IMMEDIATELY AFTER PLANTING AND WATER THOROUGHLY ONCE EVERY THREE DAYS

FOR A PERIOD OF ONE MONTH AFTER PLANTING. CONTINUE TO WATER WHENEVER NECESSARY TO MAINTAIN OPTIMAL GROWING CONDITIONS DURING THE MAINTENANCE PERIOD.

5. SODDING 1 AREAS TO BE SODDED ARE INDICATED ON THE PLANTING PLAN. .2 ALL SODDED AREAS SHALL SLOPE TO DRAIN AT A MINIMUM OF 2% SLOPE AND A MAXIMUM OF 1V/3H (RISE/RUN) UNLESS NOTED OTHERWISE

.3 ENSURE THAT THE SUBGRADE UNDER THE AREAS TO BE SODDED HAS BEEN GRADED AND COMPACTED AND ACCEPTED BY THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. .4 WHERE / IF REQUIRED IN AREAS OF ROCK SUBGRADE, LANDSCAPE CONTRACTOR TO SUPPLY AND PLACE GEOTEXTILE (TERRAFIX 270R OR EQUAL AND 150 MM MINIMUM THICKNESS CLAY BINDING LAYER TO PREVENT PASSAGE OF TOPSOIL INTO ROCK. LANDSCAPE CONTRACTOR SHALL CONFIRM REQUIREMENT FOR CLAY

.5 ALL AREAS TO BE SODDED SHALL BE COVERED WITH 150 (AFTER COMPACTION) OF APPROVED AND AMENDED TOPSOIL. .6 SPREAD TOPSOIL AND GRADE TO SMOOTH EVEN SLOPES. ELIMINATE LOW SPOTS AND ENSURE THAT ALL SURFACES DRAIN

.7 ROLL TO COMPACT TOPSOIL. .8 SOD SHALL CONFORM TO THE CANADIAN NURSERY SOD GROWERS SPECIFICATION AND CONSIST OF A MIXTURE OF 50% KENTUCKY BLUEGRASS AND 50% CREEPING FESCUE. ADVISE CONSULTANT OF SOURCE FOR SOD.

.9 LAY SOD IN NEAT EVEN ROWS. BUTT SECTIONS NEATLY TO AVOID OVERLAPS AND GAPS. .10 ROLL SOD LIGHTLY TO PROVIDE GOOD CONTACT BETWEEN SOD AND SOIL.
.11 WATER IMMEDIATELY AFTER LAYING AND WHENEVER NECESSARY TO MAINTAIN OPTIMUM GROWING CONDITIONS UNTIL SOD IS ACCEPTED BY CONSULTANT. .12 SOD SHALL BE ACCEPTED BY CONSULTANT AFTER IT HAS ESTABLISHED GOOD ROOT SYSTEM AND AFTER IT HAS

BEEN CUT TWICE, PROVIDED THAT IT IS FREE OF WEEDS AND THERE ARE NO VISIBLE PATCHES OF SOIL.

1 MULCH SHALL BE SHREDDED BARK AT LEAST TWO YEARS OLD AND FROM THE BARK OF SOFTWOOD TREES. .2 ALL PLANTING AREAS, AND DISTURBED AREAS NOT DESIGNATED TO BE SODDED TO BE COVERED WITH 3" OF MULCH.

7. PRECAST CONC. UNIT PAVERS 1. PRECAST CONC. UNIT PAVERS TO BE BARRINGTON AS SUPPLIED BY SHAW BRICK.

LAYER PRIOR TO SUBMISSION OF COST QUOTATION.

.2 PAVERS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

.4 STONE SIZE : 7% @ 3" X 6", 25% @ 6" X 6", 43% @ 6"X 9" PATTERN AS DESCRIBED BY MANUFACTURER.

8. TIMBER PRIVACY SCREEN 1. ALL TIMBER TO BE PRESSURE TREATED.

WILL INHIBIT GROWTH.

.2 ALL FASTENERS TO BE GALVANIZED. 3. ALL FIELD CUT ENDS TO BE TREATED WITH CLEAR PRESERVATIVE.

1 THE CONTRACTOR SHALL CONDUCT A THOROUGH CLEAN UP OF THE SITE FOLLOWING THE COMPLETION OF THE WORK.

2 REMOVE ALL LITTER AND UNUSED MATERIALS FROM THE SITE. .3 ALL PAVED SURFACES SHALL BE CLEANED TO THE APPROVAL OF THE CONSULTANT

.4 SODDED AREAS SHALL BE MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF ACCEPTANCE, TO INCLUDE:

.1 WATER WHENEVER NECESSARY TO MAINTAIN OPTIMUM SOIL MOISTURE CONDITIONS TO A DEPTH OF 3". .2 CUT GRASS TO A HEIGHT OF 50 WHEN IT REACHES A HEIGHT OF 4". REMOVE ALL GRASS CLIPPINGS WHICH

3 MAINTAIN LAWN AREAS WEED FREE.

.4 IN SEPT. APPLY 1-44 RATIO FERTILIZER. IN MAY APPLY 3-0-0 FERTILIZER. APPLY FERTILIZER AT RATES RECOMMENDED BY MANUFACTURER.
 .5 REPLACE ANY DEAD OR POOR QUALITY SOD OR RESEED AREAS WHERE GRASS HAS NOT ESTABLISHED TO APPROVAL

LEGEND

DECIDUOUS TREE

CONIFEROUS TREE

PERENNIALS

SHRUB

SODDED AREAS

LIMIT OF

EXISTING VEGETATION

PRIVACY SCREEN 6

(33 REQ'D)

PRECAST CONC. UNIT PATIOS AND WALKWAYS

PLANTING BED WITH REFERENCE

NUMBER

DRAINAGE ARROW

(SEE CIVIL DWG.)

SWALE (SEE CIVIL DWG

1 SEPT. 28/11 ISSUED FOR PERMIT No. Date Revision Description Appr'd

Gordon Ratcliffe LANDscape ARCHITECTS 5539B YOUNG STREET HALIFAX, NOVA SCOTIA CANADA, B3K 1Z7

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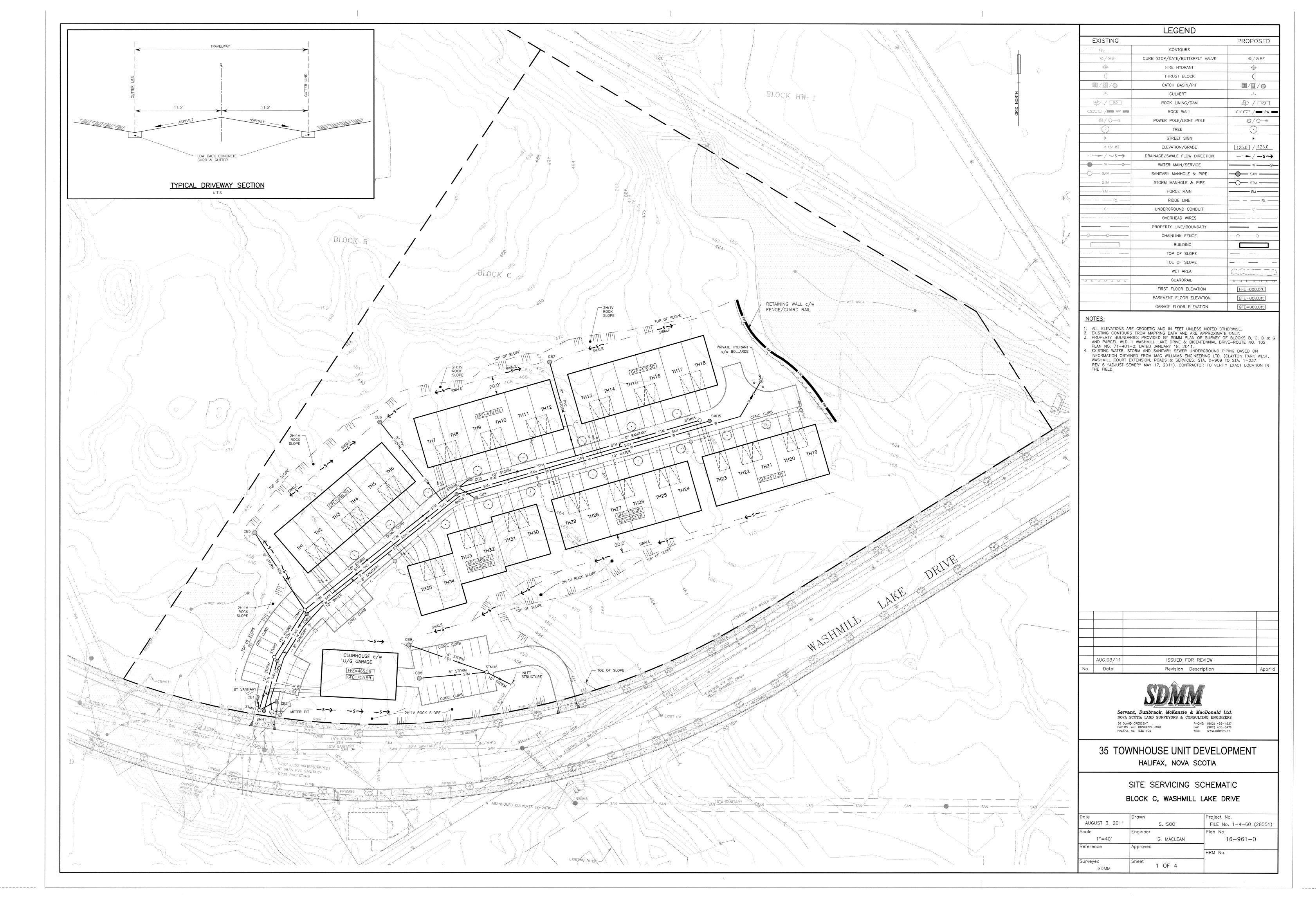


35 TOWNHOUSE UNIT DEVELOPMENT

HALIFAX, NOVA SCOTIA

LANDSCAPE PLAN BLOCK C, WASHMILL LAKE DRIVE

Date	Drawn/Designed by	Project No.
SEPT 26, 2011	LG	
Scale	Checked	Plan No.
1"=40'	GR	
Reference	Approved	
		HRM No.
Surveyed	Sheet	
SDMM		L-101





LEGEND				
EXISTING		PROPOSED		
464	CONTOURS	·		
⊗/⊗BF	CURB STOP/GATE/BUTTERFLY VALVE	⊗/⊗BF		
©	FIRE HYDRANT	©		
	CATCH BASIN/PIT	I / I / 0		
儿、	CULVERT			
COOC / RW RW	ROCK WALL	0000 / ■ RW ■		
⊕/◊-*	POWER POLE/LIGHT POLE	∅/◊*		
0	TREE	0		
ļa:	STREET SIGN	 		
× 131.82	ELEVATION/GRADE	125.0 / 125.0		
	DRAINAGE/SWALE FLOW DIRECTION	/-s→		
	WATER MAIN/SERVICE	——— w —————		
	SANITARY MANHOLE & PIPE	——— SAN ———		
STM	STORM MANHOLE & PIPE	——— STM ———		
FM	FORCE MAIN	FM		
MATERIAL PROPERTY AND	RIDGE LINE	RL		
	UNDERGROUND CONDUIT ,	C		
	OVERHEAD WIRES			
	PROPERTY LINE/BOUNDARY			
	CHAINLINK FENCE	-00		
	BUILDING			
	TOP OF SLOPE			
- Magazina de Magazina de Addressa de Addr	TOE OF SLOPE			
	WET AREA			
	GUARDRAIL			
	LIMIT OF DISTURBANCE			
	FIRST FLOOR ELEVATION	FFE=000.0ft		
	BASEMENT FLOOR ELEVATION	BFE=000,0ft		
	GARAGE FLOOR ELEVATION	GFE=000.0ft		

- ALL ELEVATIONS ARE GEODETIC AND IN FEET UNLESS NOTED OTHERWISE.
 EXISTING CONTOURS FROM MAPPING DATA AND ARE APPROXIMATE ONLY.
 PROPERTY BOUNDARIES PROVIDED BY SDMM PLAN OF SURVEY OF BLOCKS B, C, D & G AND PARCEL WLD-1 WASHMILL LAKE DRIVE & BICENTENNIAL DRIVE-ROUTE NO. 102, PLAN NO. 71-401-0, DATED JANUARY 18, 2011.

ISSUED FOR REVIEW Revision Description



36 OLAND CRESCENT BAYERS LAKE BUSINESS PARK HALIFAX, NS B3S 1C6

35 TOWNHOUSE UNIT DEVELOPMENT HALIFAX, NOVA SCOTIA

PRELIMINARY SITE GRADING & LIMITS OF DISTURBANCE SCHEMATIC BLOCK C, WASHMILL LAKE DRIVE

Date	Drawn	Project No.
AUGUST 3, 2011	M.MIARI	FILE No. 1-4-60 (28551)
Scale	Engineer	Plan No.
1"=40'	G. MACLEAN	16-962-0
Reference	Approved	
		HRM No.
Surveyed	Sheet	
SDMM	2 OF 4	

