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Halifax, Nova Scotia  
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801

HRM PLANNING AND INFRASTRUCTURE - WESTERN REGION

## MEMORANDUM

To: Chair and Members of the Halifax Watershed Advisory Board

From: Paul Sampson, HRM Planner, Western Region (Bayers Road Centre)

Date: January 10, 2012

Re: **Stage II Development Agreement, Block C, Washmill Lake Drive**

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### Application:

Application by Clayton Developments Ltd. on behalf of 3256552 Nova Scotia Limited for a Stage II development agreement to allow for a 35-unit townhouse development on Block C, Washmill Lake Drive, Clayton Park West Phase 5, Halifax. The application proposes 35 townhouses (with a theoretical population of 117.25 persons) on a single property, in a condominium arrangement, accessed via a private driveway and serviced with a private, internal system. A private clubhouse/ recreation centre to serve the townhouse residents is also proposed.

### Location:

The property fronts on Washmill Lake Drive between Hwy. #102 and Bently Drive, Halifax and abuts lands of the Halifax Regional Water Commission to the north and east and private land (Block "B") to the west. The property is approximately 8.7 acres in size. The land is zoned as Schedule "K" under the Halifax Municipal Planning Strategy which requires a two-stage development agreement process.

### Site Features:

This "greenfield" site is mostly treed and consists of bedrock at or near the surface. The site includes wet areas which, like much of the remaining treed areas, are proposed to be left undisturbed.

### Watershed Advisory Board:

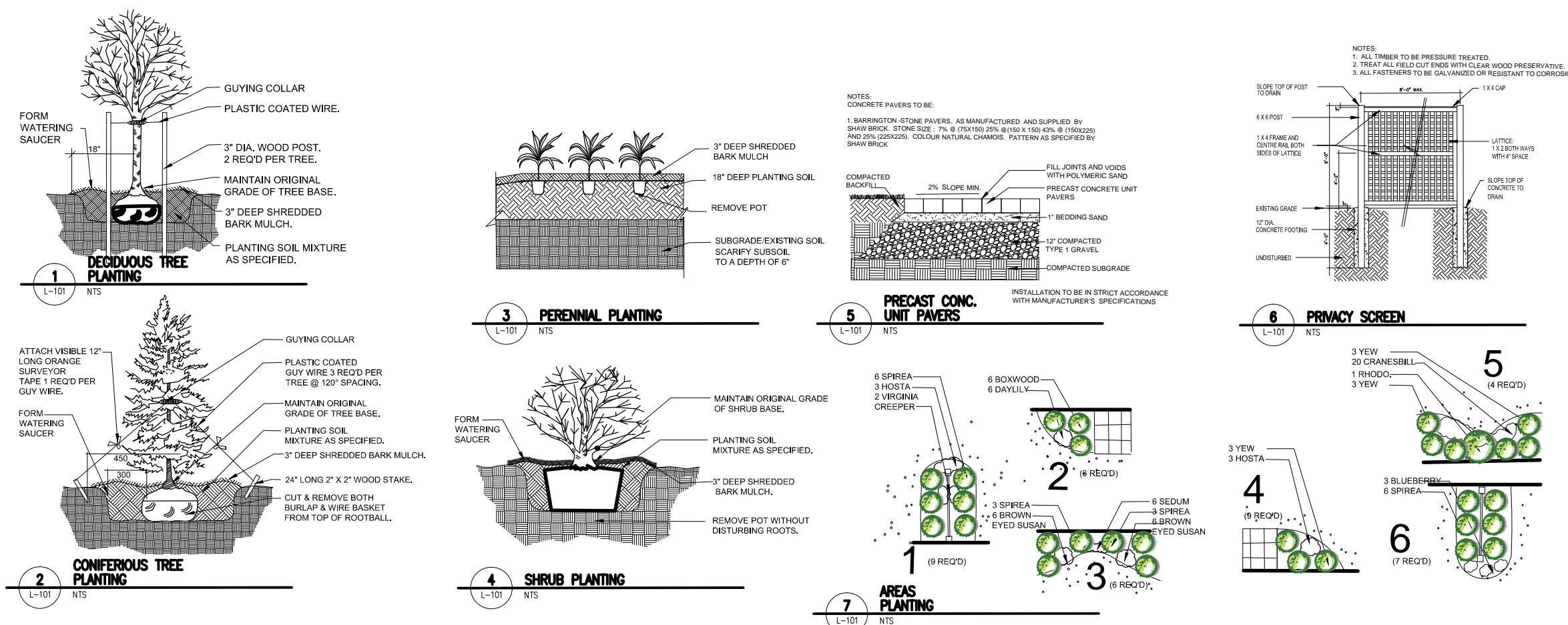
Pursuant to the Board's terms of reference, your input with respect to the potential impact of this proposal on the wetlands/ watercourses is requested.

**Attachments:** - Landscape Plan, Site Servicing Schematic, Site Grading, Erosion & Sediment Control schematic, Stormwater Management schematic \*(Slate management plan has also been prepared but not attached)

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QTY.	BOTANICAL NAME	COMMON NAME	SIZE/ CONDITION
11	TILIA AMERICANA REDMOND	REDMOND LINDEN	60mm CAL / WB
8	ACER RUBRA	RED MAPLE	60mm CAL / WB
10	QUERCUS PALUSTRIS	PIN OAK	60mm CAL / WB
3	MAGNOLIA STELLATA	STAR MAGNOLIA	60mm CAL / WB
20	PICEA GLAUCA	WHITE SPRUCE	150cm WB
48	BUXUS "GREEN MOUNTAIN"	BOXWOOD	60 cm POTTED
51	TAXUS MEDIA DENSIFORMIS	DENSE YEW	60 cm POTTED
432	SPIREA BULALDA 'ANTHONY WATERER' OR CRISPA	SPirea	60 cm POTTED
1	RHOODENDRON CATAWBIENSE ALBA	RHOODENDRON	1 GAL. POT
36	HEMEROCALLIS HERON	DAYLILY	
36	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GAL. POT
78	RUDEBECKIA FULGIDA GOLDSTRUM	BROWN EYED SUSAN	1 GAL. POT
80	GERANIUM MACRORRHIZUM 'INGWENSEN'S VARIETY'	CRANESBILL	1 GAL. POT
54	HOSTA SIEBOLDIANA VARIETIES	HOSTA SIEBOLDIANA	1 GAL. POT
80	GERANIUM MACRORRHIZUM 'INGWENSEN'S VARIETY'	CRANESBILL	1 GAL. POT
21	VACCINIUM ANGUSTIFOLIUM	LOW BUSH BLUEBERRY	1 GAL. POT
18	PARTHINOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	1 GAL. POT



1. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF A MEMBER ORGANIZATION OF THE CANADIAN NURSERY AND LANDSCAPE TRADERS ASSOCIATION.
2. GENERAL
3. ALL LAYOUT INFORMATION TAKEN FROM DIGITAL FILE REPORTED BY SDMM
4. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL PLAN AND CIVIL DRAWINGS. REFERENCE TO THE ARCHITECTURAL DRAWINGS AND CIVIL DRAWINGS FOR LAYOUT INFORMATION, AREA OF ROCK FLOOR AND LIMIT OF DISTURBANCE SHALL BE THE BASIS FOR THE CONTRACTOR'S OBLIGATION.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO READ ALL DRAWINGS, SPECIFICATIONS AND NOTES RELATED TO THIS PROJECT AND CONFIRM ALL TERMS AND CONDITIONS RELATING TO THIS CONTRACT AND TO QUESTION ANY DISCREPANCY OR AMBIGUITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL VISIT THE SITE TO CONFIRM EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY QUESTIONS CONCERNING ANY UNCERTAINTY IN THE TERMS OF THE CONTRACT PRIOR TO SUBMISSION OF QUOTATION.
7. ALL LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS SHALL BE STAKED ON SITE BY CONTRACTOR AND APPROVED BY CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. ALL WORK TO BE CONDUCTED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND THE CANADIAN NURSERY AND LANDSCAPE TRADERS ASSOCIATION BEST PRACTICES AND BY-LAWS.
9. THE CONTRACTOR SHALL NOT DISTURB EXISTING STRUCTURES, PLANT MATERIAL, LAWNS AND PAVEMENT. THE CONTRACTOR SHALL REINSTATE ANY DISTURBANCE TO THE APPROVAL OF THE CONSULTANT AT HIS/HER OWN COST.
10. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND LOCATIONS OF UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT DISTURB UNDERGROUND UTILITIES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO UNDERGROUND UTILITIES AT HIS/HER OWN EXPENSE.
11. THE CONTRACTOR SHALL PROVIDE A SLOPE PROTECTION TO ALL EXPOSED SLOPES TO PREVENT EROSION FROM ENTERING THE STORM DRAINAGE SYSTEM. SCHEDULE WORK TO AVOID EXPOSURE OF SOIL TO RAINFALL.
12. ALL EQUIPMENT AND MAINTENANCE FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF PROJECT AND ACCEPTANCE BY CONSULTANT
13. SOILS FOR LANDSCAPING
14. TOPSOIL SHALL BE FRABLE SANDY LOAM WITH A SUITABLE CONTENT OF MINERAL PARTICULATE, MICRO ORGANISMS, ORGANIC MATTER, SOIL NUTRIENTS, POTASSIUM, PHOSPHORUS, FREE OF DEBRIS AND STONES OVER 1 INCH IN DIAMETER. SAND CONTENT SHALL BE 40-70%, ORGANIC CONTENT SHALL BE 30-40%. TOPSOIL SHALL BE 20% MAX. A SAMPLE OF THE TOPSOIL SHALL BE SUBMITTED TO THE PROVINCIAL DEPARTMENT OF AGRICULTURE FOR ANALYSIS. THE CONTRACTOR SHALL SUPPLEMENT THE TOPSOIL IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOIL ANALYSIS. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SOIL ANALYSIS REPORT TO THE CONSULTANT AND PROVIDE A SAMPLE OF THE TOPSOIL FOR APPROVAL PRIOR TO DELIVERY TO THE SITE.
15. PLANTING MEDIA SHALL BE 60% TOPSOIL, 40% ORGANIC MATTER (COMPOST OR WELL AGED MANURE), FREE OF WEEDS, OR APPROVED EQUIV.

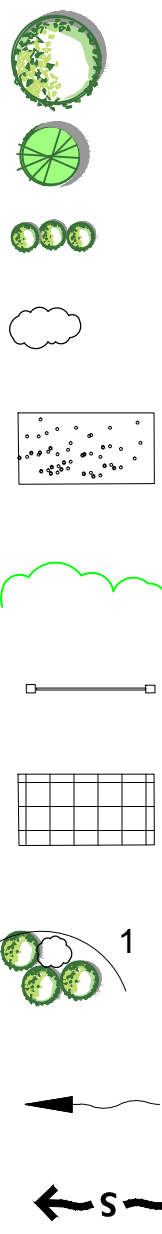
NOTES:

1. THIS PLAN IS FOR PERMIT PURPOSES ONLY AND NOT FOR CONSTRUCTION.  
ALL LOCATIONS ARE APPROXIMATE . PLANTING LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
2. SITE LAYOUT PROVIDED BY SDMM LTD. FOR GRADING , SERVING AND DRAINAGE INFORMATION SEE CIVIL DWGS.
3. ALL DISTURBED AREAS TO BE COVERED WITH 6" OF TOPSOIL AND SODDED.

GRAPHIC SCALE FEET

20 40 60 80

## SWALE (SEE CIVIL DWG



1	SEPT. 28/11	ISSUED FOR PERMIT			
No.	Date	Revision	Description		Appr'd

**Gordon Ratcliffe**  
**LANDscape ARCHITECTS**

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HALIFAX, NOVA SCOTIA  
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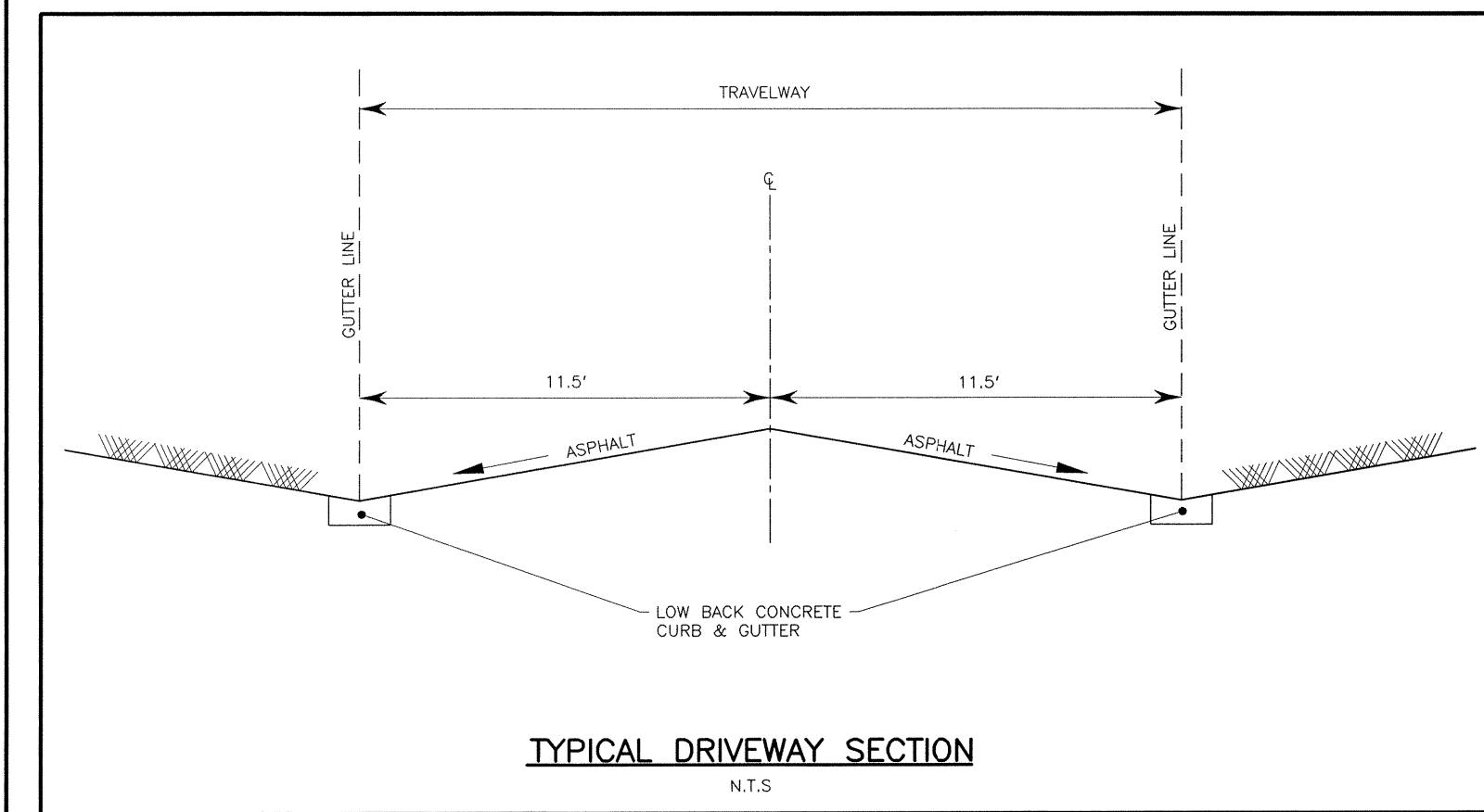
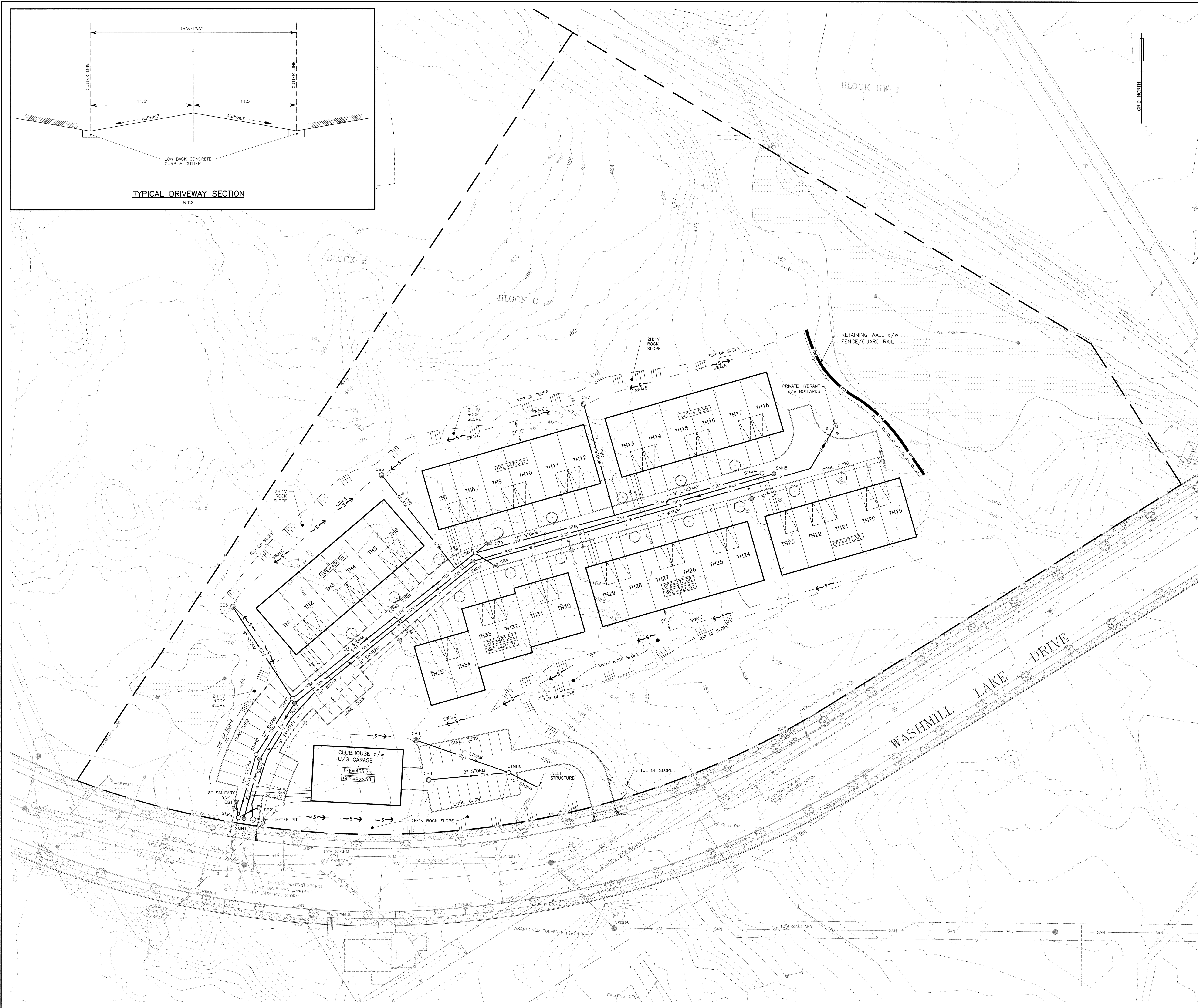
## 35 TOWNHOUSE UNIT DEVELOPMENT

### HALIFAX, NOVA SCOTIA

LANDSCAPE PLAN  
BLOCK C, WASHMILL LAKE DRIVE

Date SEPT 26, 2011	Drawn/Designed by LG	Project No.
Scale 1"=40'	Checked GR	Plan No.
Reference	Approved	HRM No.
Surveyed SDMM	Sheet	L-101





LEGEND		
EXISTING		PROPOSED
	CONTOURS	
	CURB STOP/GATE/BUTTERFLY VALVE	
	FIRE HYDRANT	
	THRUST BLOCK	
	CATCH BASIN/PIT	
	CULVERT	
	ROCK LINING/DAM	
	ROCK WALL	
	POWER POLE/LIGHT POLE	
	TREE	
	STREET SIGN	
	ELEVATION/GRADE	
	DRAINAGE/SWALE FLOW DIRECTION	
	WATER MAIN/SERVICE	
	SANITARY MANHOLE & PIPE	
	STORM MANHOLE & PIPE	
	FORCE MAIN	
	RIDGE LINE	
	UNDERGROUND CONDUIT	
	OVERHEAD WIRES	
	PROPERTY LINE/BOUNDARY	
	CHAINLINK FENCE	
	BUILDING	
	TOP OF SLOPE	
	TOE OF SLOPE	
	WET AREA	
	GUARDRAIL	
	FIRST FLOOR ELEVATION	[FFE=000.0ft]
	BASEMENT FLOOR ELEVATION	[BFE=000.0ft]
	GARAGE FLOOR ELEVATION	[GFE=000.0ft]

**NOTES:**

- ALL ELEVATIONS ARE GEODETIC AND IN FEET UNLESS NOTED OTHERWISE.
- EXISTING CONTOURS FROM MAPPING DATA AND ARE APPROXIMATE ONLY.
- PROPERTY BOUNDARIES PROVIDED BY SDMM PLAN OF SURVEY OF BLOCKS B, C, D & G AND PARCEL WLD-1 WASHMILL LAKE DRIVE & BICENTENNIAL DRIVE-ROUTE NO. 102, PLAN NO. 71-401-0, DATED JANUARY 18, 2011.
- EXISTING WATER, STORM AND SANITARY SEWER UNDERGROUND PIPING BASED ON INFORMATION OBTAINED FROM MAC WILLIAMS ENGINEERING LTD. (CLAYTON PARK WEST, WASHMILL COURT EXTENSION, ROADS & SERVICES, STA. 0+909 TO STA. 1+237, REV. 6 "ADJUST SEWER" MAY 17, 2011). CONTRACTOR TO VERIFY EXACT LOCATION IN THE FIELD.

No.	Date	Revision	Description	Appr'd
	AUG.03/11		ISSUED FOR REVIEW	

**SDMM**  
 Servant, Dunbrack, McKenzie & MacDonald Ltd.  
 NOVA SCOTIA LAND SURVEYORS & CONSULTING ENGINEERS  
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 BAYERS LAKE BUSINESS PARK  
 HALIFAX, NS B3S 1C8  
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**35 TOWNHOUSE UNIT DEVELOPMENT  
 HALIFAX, NOVA SCOTIA**

SITE SERVICING SCHEMATIC BLOCK C, WASHMILL LAKE DRIVE		
Date AUGUST 3, 2011	Drawn S. SOO	Project No. FILE No. 1-4-60 (28551)
Scale 1"=40'	Engineer G. MACLEAN	Plan No. 16-961-0
Reference	Approved	HRM No.
Surveyed SDMM	Sheet 1 OF 4	











