



480 Parkland Drive  
Suite 205, Halifax  
Nova Scotia, Canada  
B3S 1P9

tel. 902.457.6676  
fax. 902.457.4686  
[www.wmfares.com](http://www.wmfares.com)

July 05, 2013

Ted Aubut  
Legislative Assistant  
Office of the Municipal Clerk  
Halifax Regional Municipality  
P.O. Box 1749  
Halifax, NS  
B3J 3A5

Dear Mr. Aubut

Please accept the following preliminary drawings for a proposed mixed use building on 5447 Rannie Drive. We would like the opportunity to appear at the July Design Review Committee meeting to introduce our project and get initial feedback.

It is important to note that this submission and presentation are outside the formal site plan approval process; as a result the presentation of the drawings and the completeness of the application requirements are still work in progress.

Thank you for the opportunity to introduce our project and we look forward for the committee's input.

Your truly,



Roberto Menendez, M.Arch. M.A.S.  
Director of Design Development  
W M Fares Group

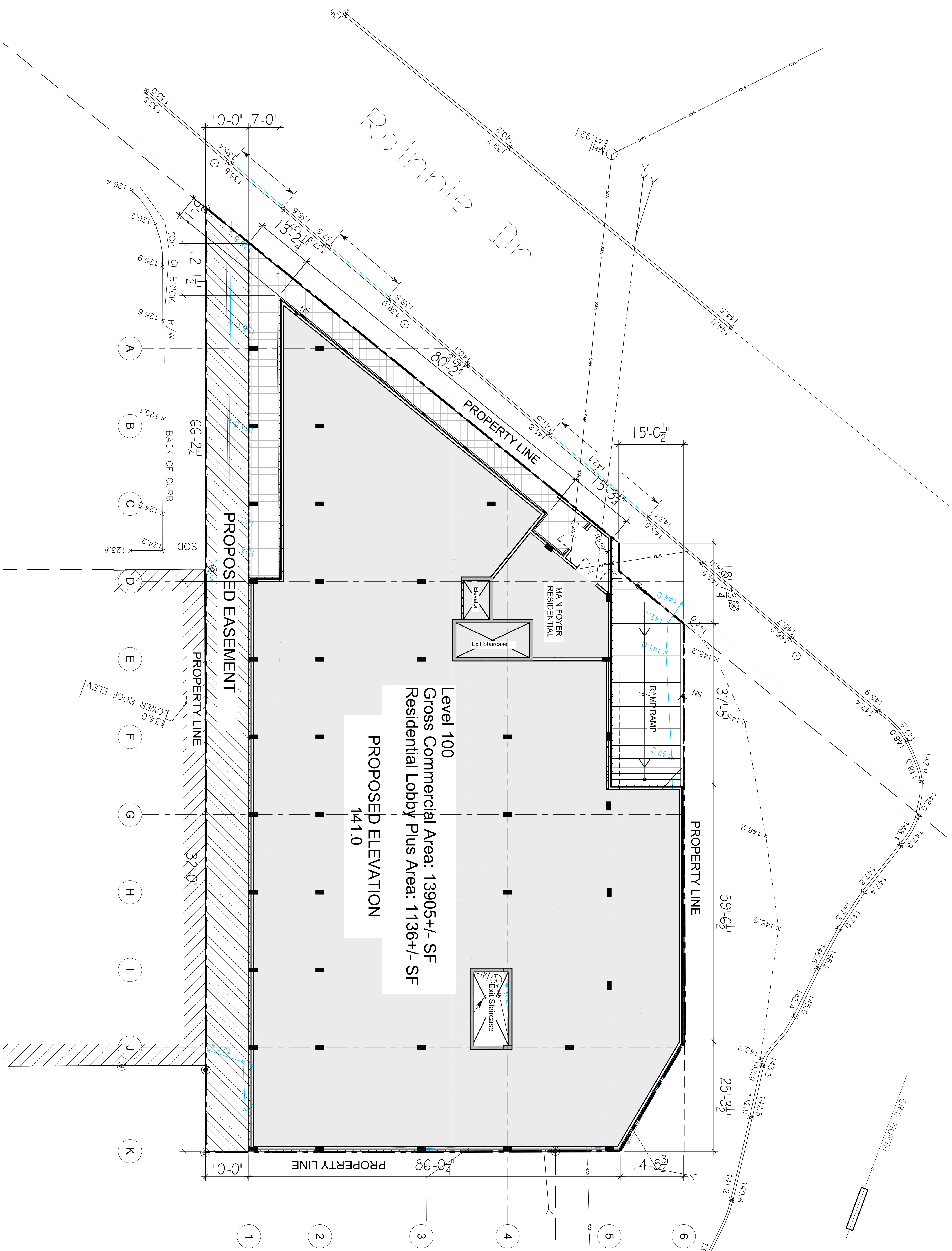


PERSPECTIVE VIEW

Commercial/Residential  
5447 Rainnie Drive,  
Halifax, Nova Scotia

WM FARES  
GROUP  
ARCHITECTS | ENGINEERS | PLANNERS



[illegible]



WM FARES  
GROUP

ARCHITECTS | ENGINEERS | PLANNERS

1000 FARM ROAD  
SUITE 100  
BURNABY, BC V5A 1S6  
Canada

TEL: (604) 293-7426  
TEL: (604) 293-7427  
FAX: (604) 293-7428  
WWW.WMFARES.COM

PROPOSED

5447 Rainnie Dr

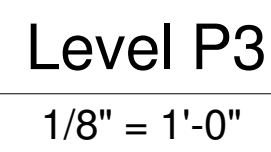
TITLE

SITE  
PLAN

REFERENCES

SCALE	DATE
1"=10'	April 2013

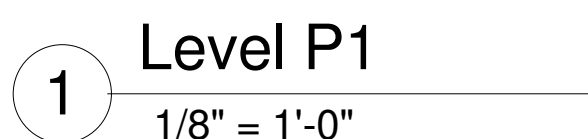
ISSUED	STAFF	SHEET
CHECKED	RM	SDP
PROJECT		



1000





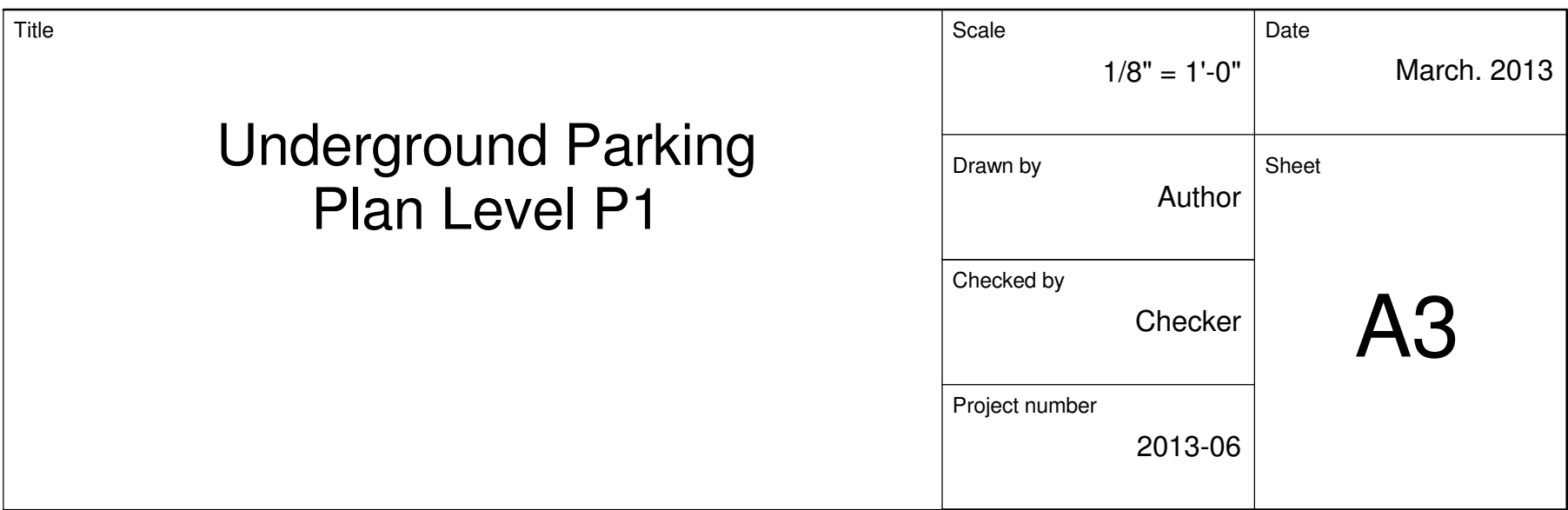


**Proposed**

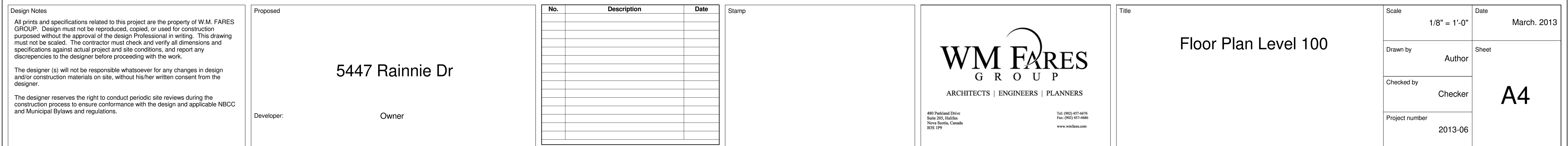
**5447 Rainnie Dr**

**Developer:**                      **Owner**

Stamp
-------

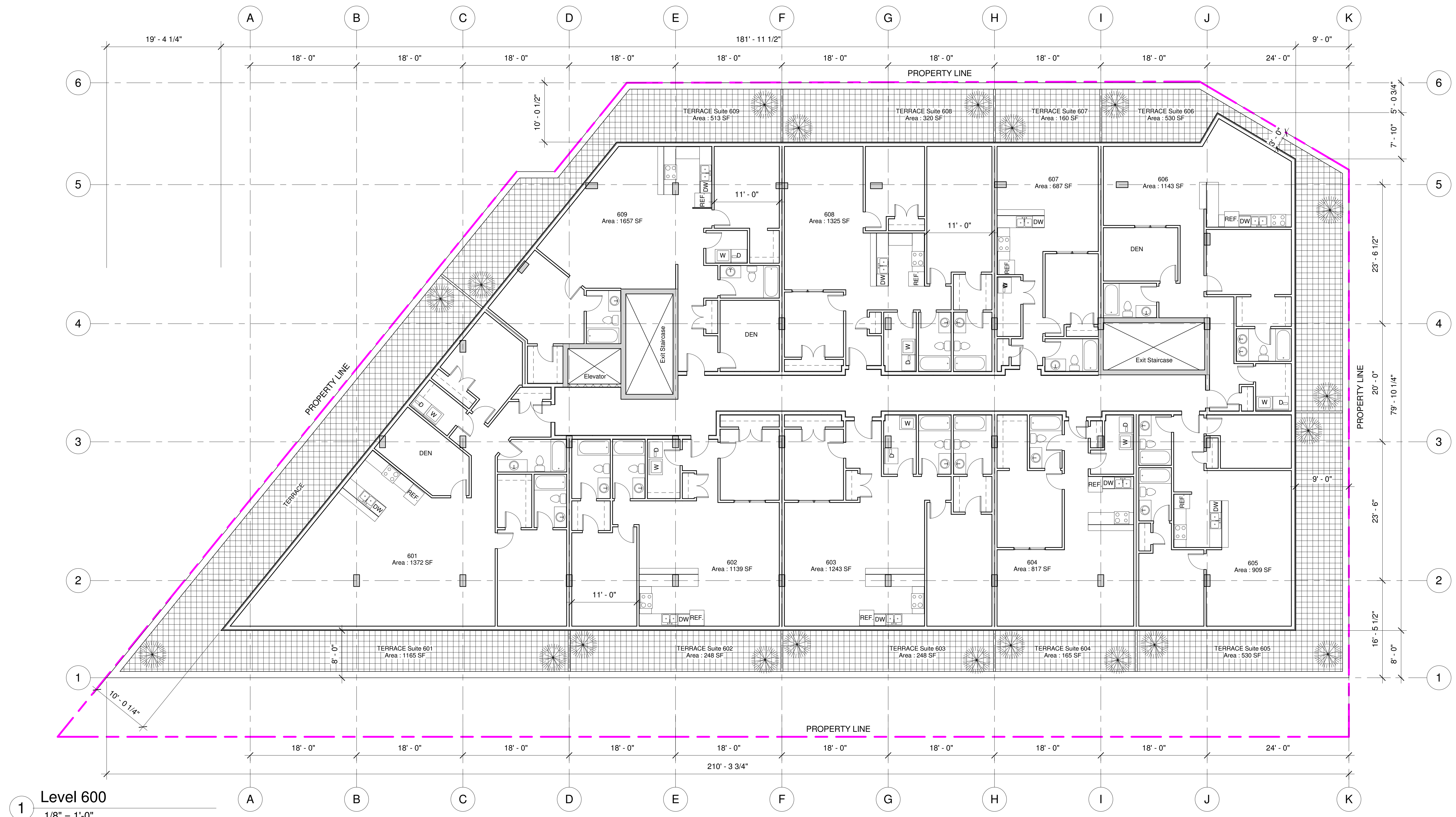












**Design Notes**

All prints and specifications related to this project are the property of W.M. FARES & ASSOCIATES. This design must not be reproduced, copied, or used for construction purposes without the approval of the design Professional in writing. This drawing must not be scaled. The contractor must check and verify all dimensions and specifications against actual project and site conditions, and report any discrepancies to the designer before proceeding with the work.

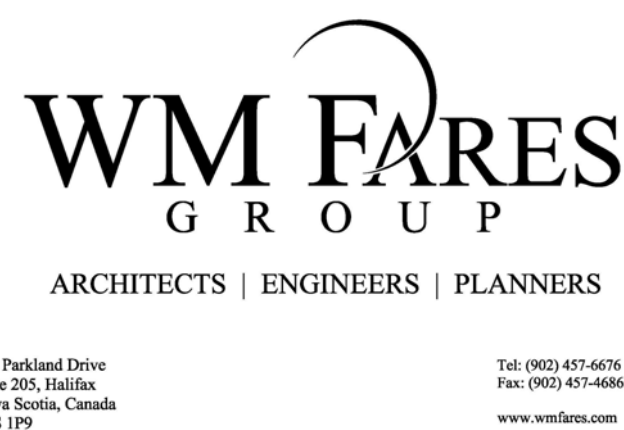
The designer (s) will not be responsible whatsoever for any changes in design and/or construction materials on site, without his/her written consent from the designer.

The designer reserves the right to conduct periodic site reviews during the construction process to ensure conformance with the design and applicable NBCO and Municipal Bylaws and regulations.

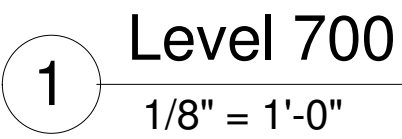
Proposed	
5447 Rainnie Dr	
Developer:	Owner

[illegible]

Stamp	
-------	--

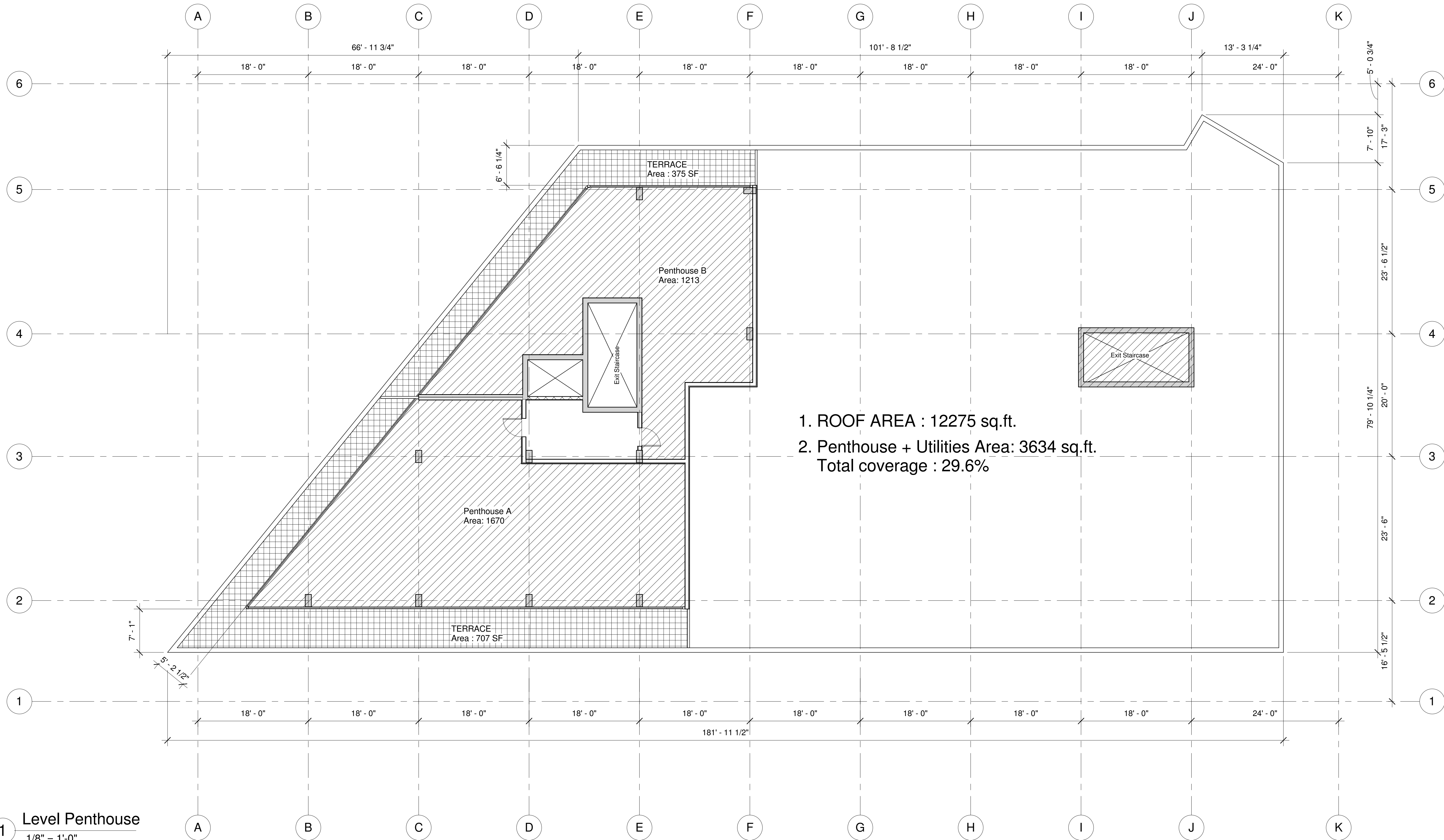


<p>Title</p> <p style="text-align: center;">Floor Plan Level 600</p>	<p>Scale</p> <p style="text-align: center;">1/8" = 1'-0"</p>	<p>Date</p> <p style="text-align: center;">March. 2013</p>
	<p>Drawn by</p> <p style="text-align: center;">Author</p>	<p>Sheet</p> <p style="text-align: center; font-size: 2em;">A6</p>
	<p>Checked by</p> <p style="text-align: center;">Checker</p>	
	<p>Project number</p> <p style="text-align: center;">2013-06</p>	



141 00:04:71 01:07:40/51





Design Notes

All prints and specifications related to this project are the property of W.M. FARES GROUP. Design must not be reproduced, copied, or used for construction purposes without the approval of the design Professional in writing. This drawing must not be scaled. The contractor must check and verify all dimensions and specifications against actual project and site conditions, and report any discrepancies to the designer before proceeding with the work.

The designer (s) will not be responsible whatsoever for any changes in design and/or construction materials on site, without his/her written consent from the designer.

The designer reserves the right to conduct periodic site reviews during the construction process to ensure conformance with the design and applicable NBCC and Municipal Bylaws and regulations.

Proposed

5447 Rainnie Dr

Developer:                      Owner

No.	Description	Date

Stamp

WM FARES GROUP

ARCHITECTS | ENGINEERS | PLANNERS

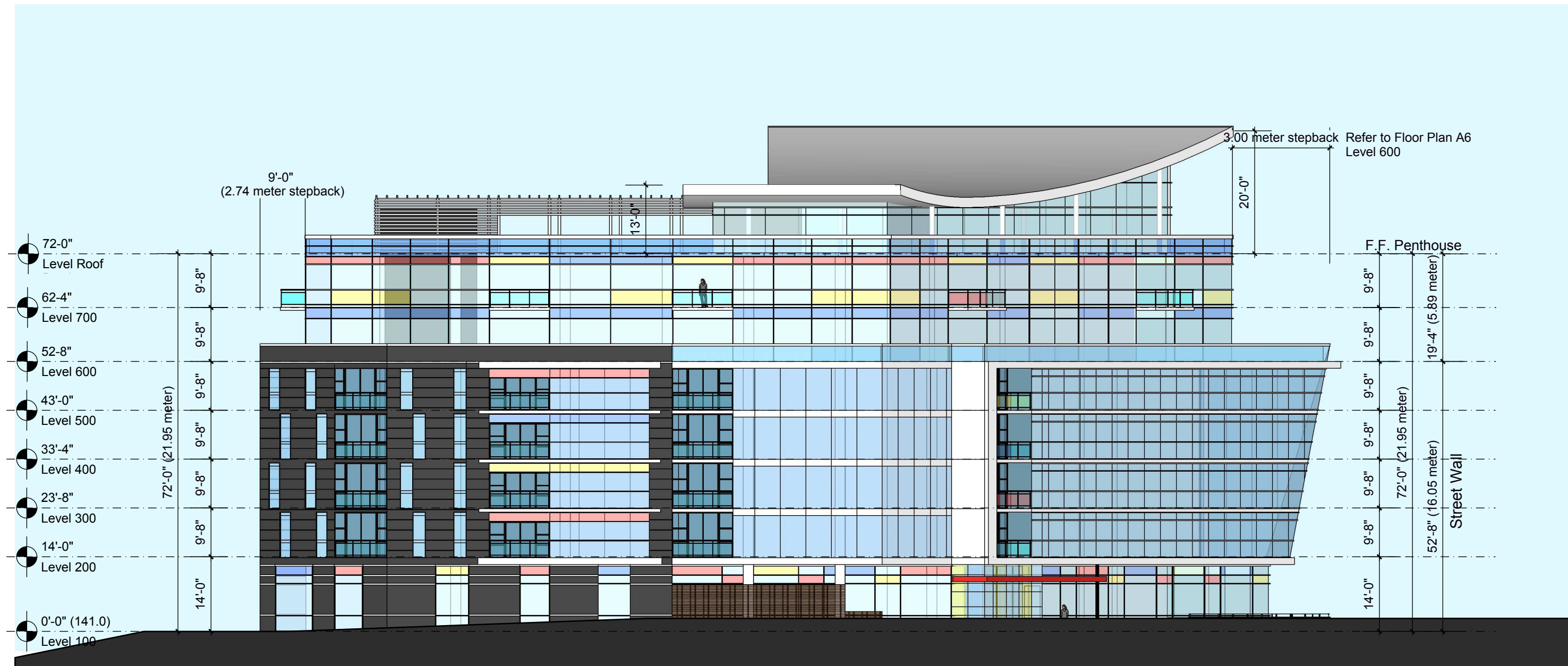
480 Parkland Drive  
Suite 305, Halifax  
Nova Scotia, Canada  
B3S 1P9

Tel: (902) 457-6676  
Fax: (902) 457-6666  
www.wmfares.com

Title

Floor Plan Level Penthouse

Scale	1/8" = 1'-0"	Date	March. 2013
Drawn by	Author	Sheet	A8
Checked by	Checker		
Project number	2013-06		

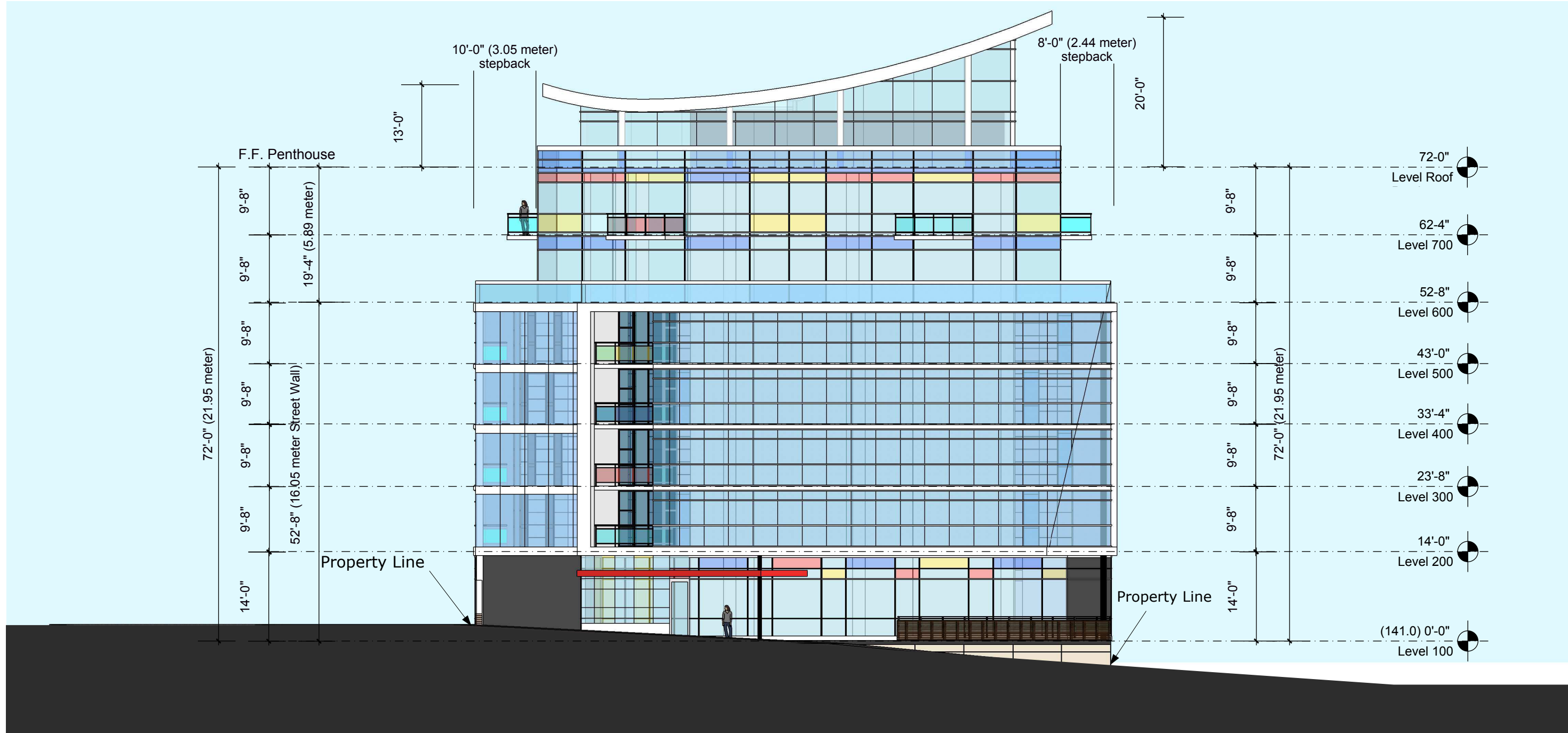


WEST ELEVATION

Commercial/Residential  
5447 Rainnie Drive,  
Halifax, Nova Scotia



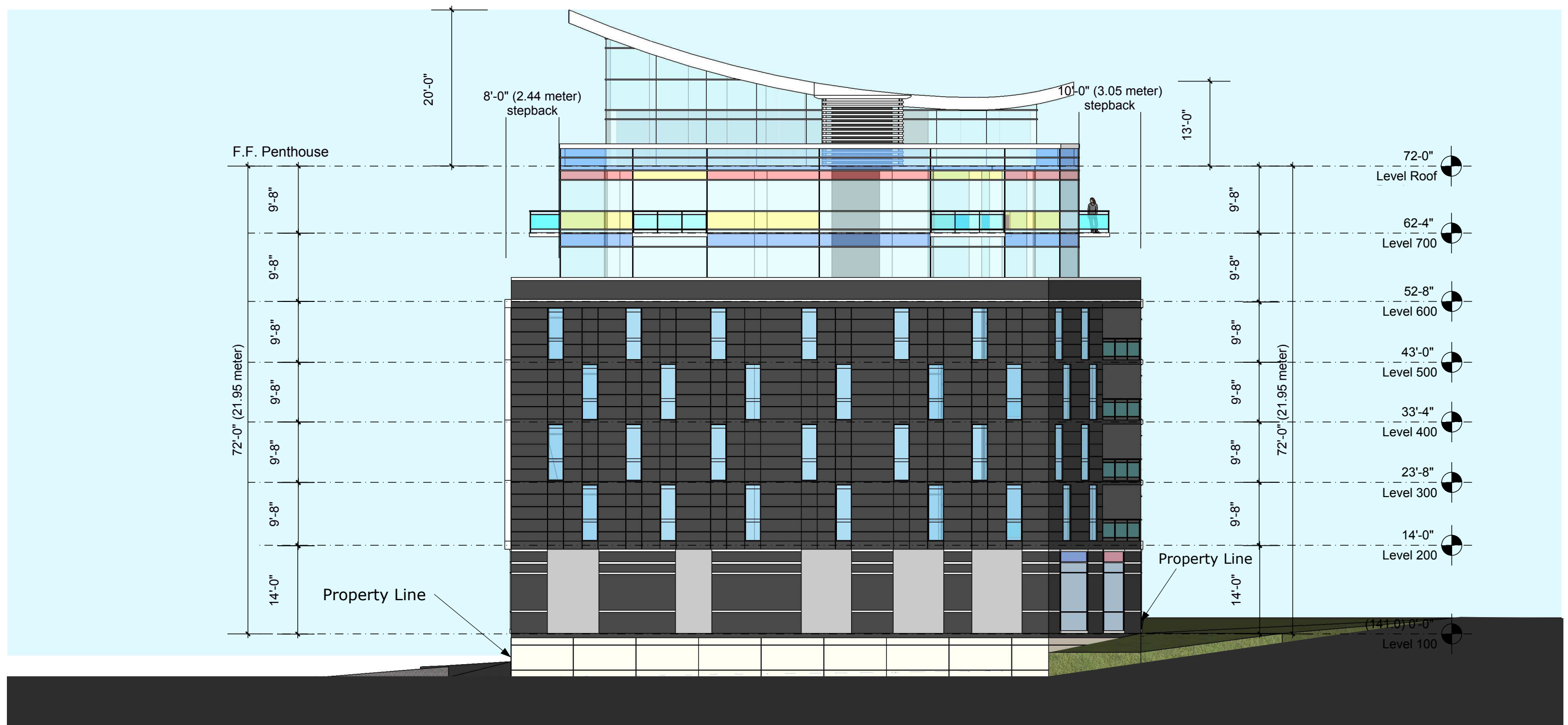




## SOUTH ELEVATION

Commercial/Residential  
5447 Rainnie Drive,  
Halifax, Nova Scotia





NORTH ELEVATION

Commercial/Residential  
5447 Rainnie Drive,  
Halifax, Nova Scotia