

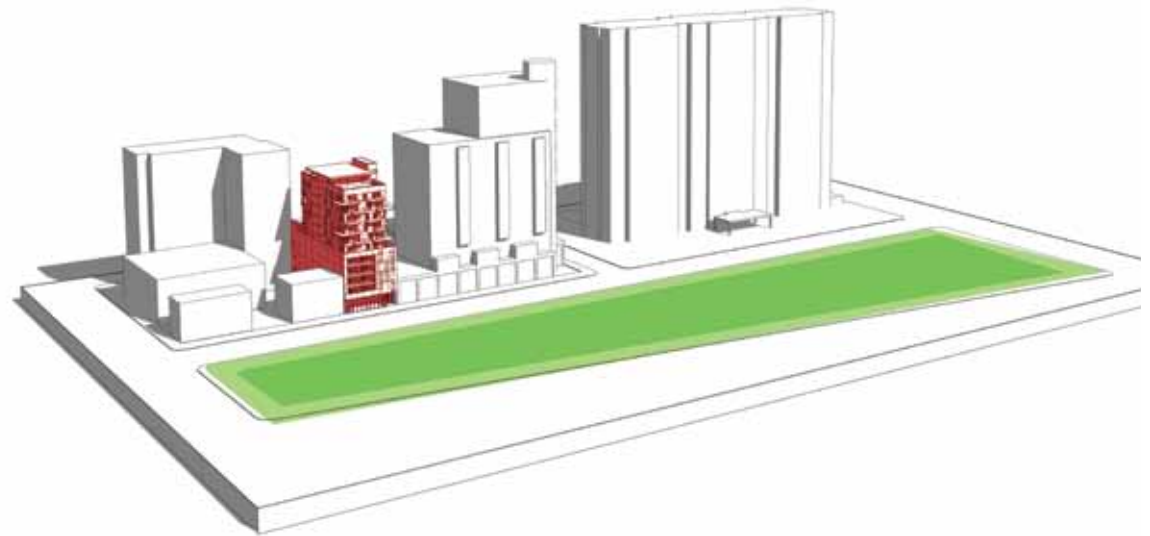
Item No. 7.1.2



SOUTH PARK PROJECT DESIGN RATIONALE
GEOFF KEDDY ARCHITECT & ASSOCIATES LTD.

1.0 SITE

The following proposal consists of an 11 story mid-rise residential in-fill building spanning the block between South Park Street and Brenton Street directly across from Victoria Park. The proposed building will contain a total of 62 residential units with commercial space at grade on South Park Street, which is a designated commercial area. Due to an existing light and air easement on Brenton Street for the adjacent building located at 5670 Spring Garden Road (see attached easement), the proposed building steps down to four stories on the Brenton Street side. A large, open courtyard separates the South Park Street mid-rise and the Brenton Street low-rise which allows for natural daylight and ventilation for the rear facing units and landscaped open space at grade. Both buildings are connected at grade through the courtyard and underground via the parking garage which is accessed from the Brenton Street side, maximizing commercial storefront space on South Park Street. Large, landscaped, communal roof terraces are found on top of both the South Park Street mid-rise and the Brenton Street low-rise.





SOUTH PARK STREET CONTEXT

1.1 EXISTING CONDITIONS

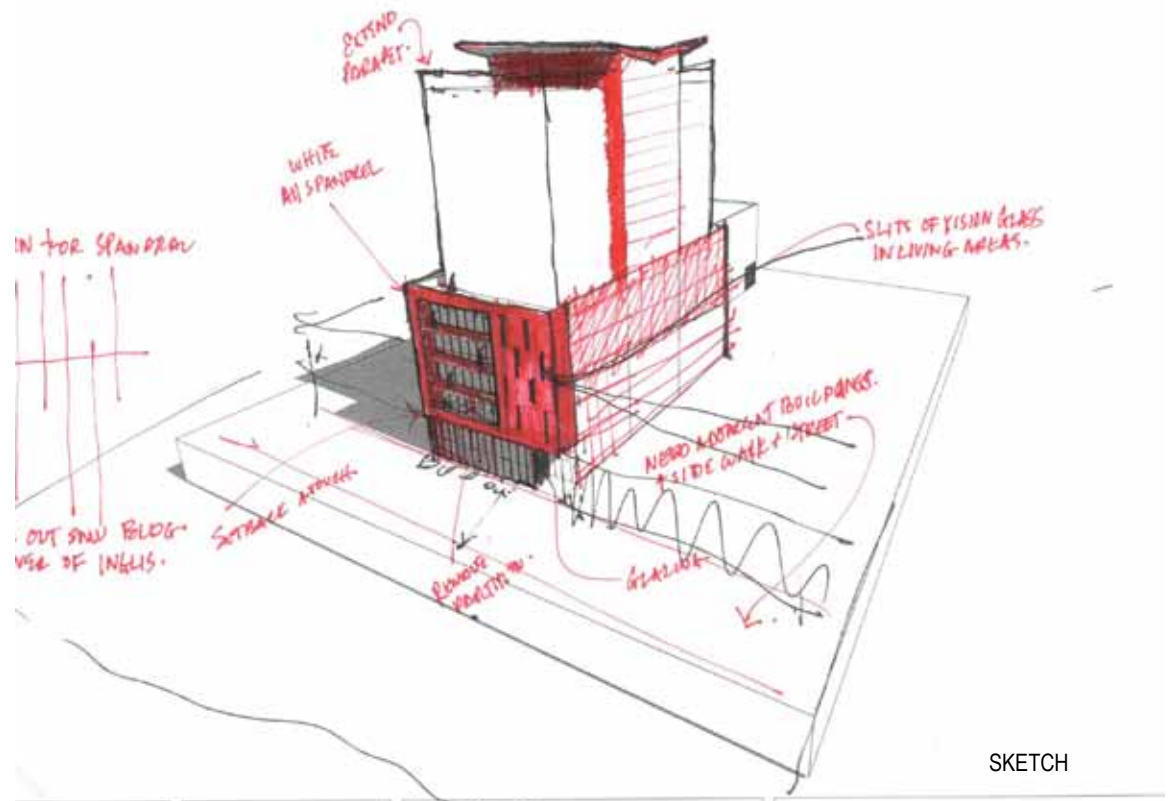
There are currently three separate lots or PID's included in the proposal. The South Park side of the site currently consists of two separate PID's and is occupied by two semi-detached buildings that contain multiple residential dwellings. Both buildings are in very poor condition and remain under-utilized. The portion of the site abutting Brenton Street, or the third PID, is occupied by a residential dwelling that has been converted to commercial space. The existing conditions do not correspond to HRM's design guidelines.



BRENTON STREET CONTEXT

2.0 DESIGN RATIONALE

The following proposal located in precinct 3 or the Spring Garden Road Area is consistent with the HRM design manual guidelines. Extensive floor to ceiling glazing at ground level along South Park Street, a primary commercial zone in the downtown district, provides a high level of transparency, animating the pedestrian experience. The upper level, which cantilevers above the main entrance to the residential units provides a canopy and weather protection, encouraging pedestrian activity at grade. The upper levels of the streetwall are clad in high quality white spandrel panels. The upper portion of the mid-rise will be clad in Cembrit panels (high density concrete panel), creating a unique pattern that corresponds to the interior floor plates, windows, and terraces. The generous terraces wrapped in wood panels are recessed into the streetwall facade, breaking up the elevation and providing eyes on the street and a sense of animation and engagement while framing the views to Victoria Park. The narrow nature of the lot and building is consistent with the prevailing character of narrow buildings and storefronts in the downtown core. The proposal reinforces the HRM By Design plan by replacing the existing conditions, such as the two dilapidated semi-detached buildings on South Park Street which lack commercial space at ground level, with high quality commercial space and affordable residential dwellings, contributing to increasing density and diversity in the downtown core.



SKETCH

2.1 DESIGN MANUAL - RELEVANT CRITERIA

2.3a “Development shall appropriately frame Citadel Hill, the Public Gardens, and Victoria Park through the provision of consistent, animated street walls of superior quality and design.” See section 2.0 on how this relates to design manual.

2.3c “Focus pedestrian activities at sidewalk level through the provision of weather protected sidewalks using well-designed canopies and awnings. See section 2.0 on how this relates to design manual.

2.3d “Prohibit new surface parking lots of any kind.” All parking will be below grade and accessed from Brenton Street.

2.3e “Improve the pedestrian environment in the public realm through a program of streetscape improvements as previously endorsed by Council (Capital District Streetscape Guidelines).” The proposal does provide the opportunity for landscaping at grade.

3.1.1a “The articulation of narrow shop fronts, characterized by close placement to the sidewalk.” The current design provides floor to ceiling windows at grade allowing for commercial and retail.

3.1.1b “High levels of transparency (non-reflective and non-tinted glazing on a minimum of 75% of the first floor elevation.)” The current design provides 100 % floor to ceiling windows at grade on South Park Street, a primary commercial zone in the downtown core, allowing for commercial and retail space.

3.1.1c Frequent entries. The proposed design has several different entrances.

3.1.1e “Patios and other spill-out activity is permitted and encouraged where adequate width for pedestrian passage is maintained.” The proposed design provides the opportunity for spill-out activity since the sidewalks are quite spacious along South Park Street.

3.1.2a “Minimal to no Setback (0-1.5m): Corresponds to the traditional retail streets and business core of the downtown. Except at corners or where an entire block length is being redeveloped, new buildings should be consistent with the setback of the adjacent existing buildings. The proposed design is consistent with the setbacks of the buildings located on South Park Street and Brenton Street.

3.2.1a “The streetwall should contribute to the fine grained character of the streetscape by articulating the façade in a vertical rhythm that is consistent with the prevailing character of narrow buildings and storefronts.” See section 2.0 on how this relates to this particular section of the design manual.

3.2.1e “Streetwalls should be designed to have the highest possible material quality and detail.” See section 2.0 on how this relates to this particular section of the design manual.

3.2.1f “Streetwalls should have many windows and doors to provide eyes on the street and a sense of animation and engagement.” See section 2.0 on how this relates to this particular section of the design manual.

3.2.1g “Along pedestrian frontages at grade level, blank walls shall not be permitted, nor shall any mechanical or utility functions (vents, trash vestibules, propane vestibules, etc.).” See section 2.0 on how this relates to this particular section of the design manual.

3.2.4d “Units with multiple bedrooms (2 and 3 bedroom units) should be provided that have immediately accessible outdoor amenity space. The amenity space may be at-grade or on the landscaped roof of a podium.” The proposed building provides private terraces for each unit above grade. It also provides two large communal landscaped roof terraces and a public courtyard at grade.

3.2.5a “Maintain active uses at-grade, related to the sidewalk, stepping with the slope. Avoid levels that are distant from grade.” The proposed design allows for direct barrier-free access at grade.

3.2.5c “Provide windows, doors and other design articulation along facades; blank walls are not permitted.” See section 2.0 on how this relates to this particular section of the design manual.

3.2.5d “Articulate the façade to express internal floor or ceiling lines; blank walls are not permitted. See section 2.0 on how this relates to this particular section of the design manual.

3.2.7a “Non-commercial uses at-grade should animate the street with frequent entries and windows.” Brenton Street has floor to ceiling windows above the parking entrance roughly 4’ above grade.

3.3.1b “Buildings should seek to contribute to a mix and variety of high quality architecture while remaining respectful of downtown’s context and tradition.” See section 2.0 on how this relates to this particular section of the design manual.

3.3.1c “To provide architectural variety and visual interest, other opportunities to articulate the massing should be encouraged, including vertical and horizontal recesses or projections, datum lines, and changes in material, texture or colour. “See section 2.0 on how this relates to this particular section of the design manual.

3.3.1d “Street facing facades should have the highest design quality, however, all publicly viewed facades at the side and rear should have a consistent design expression. The proposed building material on the sides and rear are consistent with the street facing materials.

3.3.2a “Building materials should be chosen for their functional and aesthetic quality, and exterior finishes should exhibit quality of workmanship, sustainability and ease of maintenance.” Cembrit panels are made of the best quality high density fibre cement slates.

3.3.2b “Too varied a range of building materials is discouraged in favour of achieving a unified building image.” The proposed building facade consists of Cembrit panels, white spandrel panels, and clear windows.

3.3.2c “Materials used for the front façade should be carried around the building where any facades are exposed to public view at the side or rear.” The proposed building material on the sides and rear are consistent with the street facing materials.

3.3.2d “Changes in material should generally not occur at building corners.” The proposed building material on the sides and rear are consistent with the street facing materials.

3.3.2e “Building materials recommended for new construction include brick, stone, wood, glass, in-situ concrete and pre-cast concrete.” The streetwall is comprised of high quality glass or spandrel panels. The mid-rise portion is clad in Cembrit panels that are made of the best quality high density fibre cement slates.

3.3.3a “Emphasize entrances with such architectural expressions as height, massing, projection, shadow, punctuation, change in roof line, change in materials, etc.” The entrances to the upper level units are punched-in, clearly separating themselves from the entrances at grade.

3.3.3b “Ensure main building entrances are covered with a canopy, awning, recess or similar device to provide pedestrian weather protection.” Residential entrances are covered by the building overhang/cantilever above, providing pedestrian weather protection.

3.3.4c “Landscaping treatment of all flat rooftops is required. Special attention shall be given to landscaping rooftops in precincts 3, 5, 6 and 9, which abut Citadel Hill and are therefore preeminently visible. The incorporation of living green roofs is strongly encouraged.” The rooftop terrace will provide landscaped open space to the users.

3.3.4d “Ensure all rooftop mechanical equipment is screened from view by integrating it into the architectural design of the building and the expression of the building’s top. Mechanical rooms and elevator and stairway head-houses should be incorporated into a single well-designed roof top structure. Sculptural and architectural elements are encouraged to add visual interest.” The stair core is made of the same materials as the rest of the building.

3.3.4e “Low-rise flat roofed buildings should provide screened mechanical equipment. Screening materials should be consistent with main building design. Sculptural and architectural elements are encourage for visual interest as the roofs of such structures have very high visibility.” All mechanical equipment will be located in the basement.

One variance is required. We would like to eliminate the side-yard set back above the streetwall for the two stair cores and elevator shaft in the midrise on South Park Street. At the moment they are required to be setback above the streetwall 10% of the width of the lot which is roughly 5 feet. This will have a negative impact on many levels due to the narrow nature of the site. It will make parking below grade nearly impossible, it reduces the commercial space along South Park Street dramatically, and it makes the units in the mid-rise portion undesirable or too small. We feel this won't have much of an impact on the relatively new adjacent building to the south due to the generous set-back of the Trillium building. The building to the north is a low-rise building so pushing the one staircore out to the property line above the streetwall shouldn't have much of an impact. This variance is only required on the South Park Street side and not on the Brenton Street side.

SOUTH PARK LOFTS

HALIFAX, NOVA SCOTIA

RESIDENTIAL UNIT TYPES:

- UNIT A = 950 SQF
- UNIT B = 950 SQF
- UNIT C = 705 SQF
- UNIT D = 745 SQF
- UNIT E = 765 SQF
- UNIT F = 635 SQF
- UNIT G = 775 SQF
- UNIT H = 865 SQF
- UNIT I = 510 SQF
- UNIT J = 680 SQF
- UNIT K = 765 SQF
- UNIT L = 865 SQF
- UNIT M = 1050 SQF
- UNIT N = 635 SQF
- (3)
- (3)
- (4)
- (4)
- (4)
- (4)
- (4)
- (4)
- (12)
- (6)
- (6)
- (6)
- (1)
- (1)

COMMERICAL UNIT TYPES:

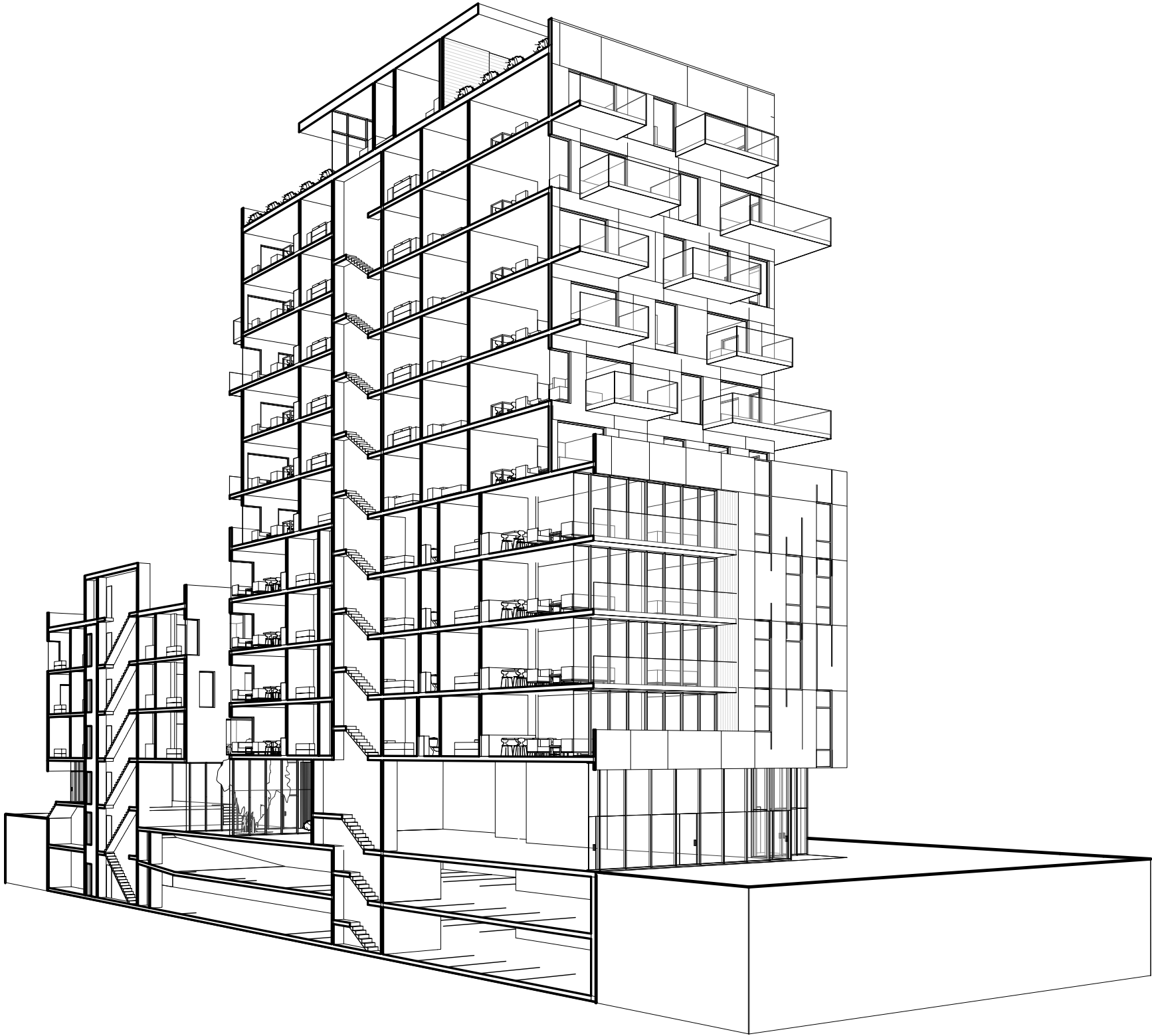
- UNIT A = 4911 SQF
- (1)

TOTAL NO. OF ONE BEDROOM UNITS = 35
TOTAL NO. OF TWO BEDROOM UNITS = 27

TOTAL NO. OF RESIDENTIAL UNITS = 62

DRAWING LIST

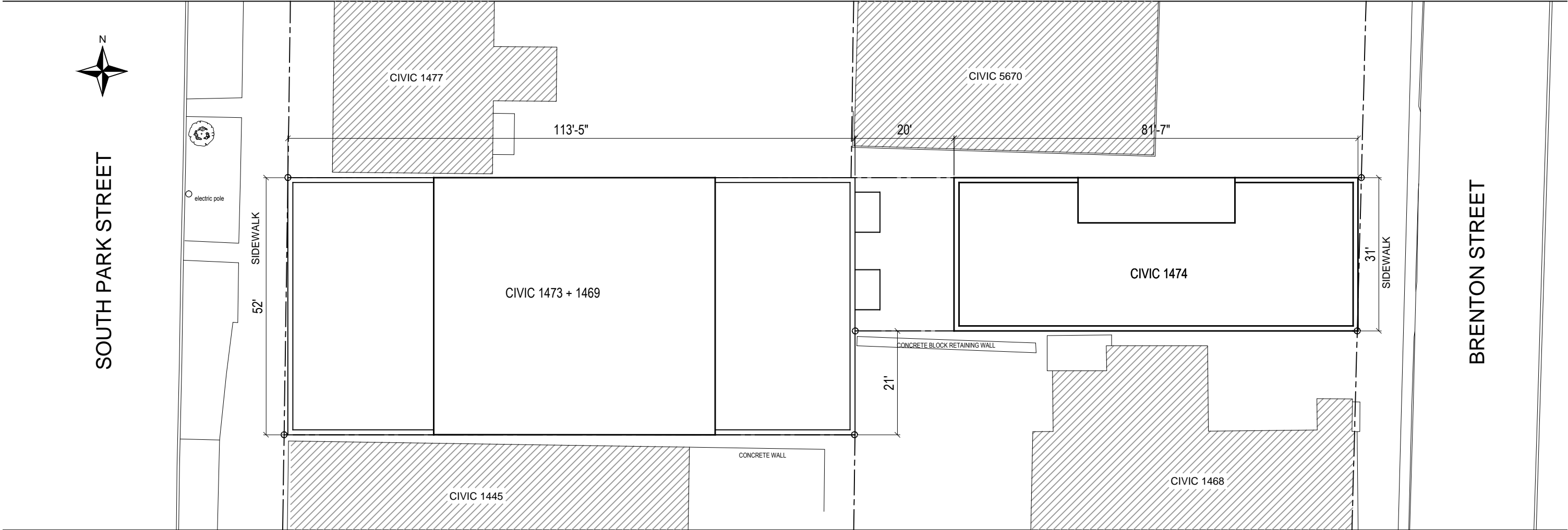
- A200 - LEVEL ONE PARKING PLAN
- A201 - LEVEL TWO PARKING PLAN
- A202 - MAIN LEVEL PLAN
- A203 - LEVEL 2 - 4 PLAN
- A204 - LEVEL 5 PLAN
- A205 - LEVEL 6 - 11 PLAN
- A206 - PENTHOUSE LEVEL PLAN
- A300 - WEST ELEVATION
- A301 - EAST ELEVATION
- A302 - SOUTH ELEVATION
- A303 - NORTH ELEVATION
- A400 - LONGITUDINAL SECTION A
- A401 - LONGITUDINAL SECTION B
- A402 - CROSS SECTION C + D
- A900 - EXTERIOR PERSPECTIVE - SOUTH PARK ST.
- A901 - EXTERIOR PERSPECTIVE - BRENTON ST.
- A902 - EXTERIOR PERSEPCTIVE - SITE
- A903 - SECTION PERSPECTIVE - SOUTH PARK ST.
- A904 - SECTION PERSPECTIVE - BRENTON ST.



GEOFF KEDDY | ARCHITECT
AND ASSOCIATES LTD.

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056



SOUTH PARK APARTMENT PROJECT

1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS

Geoff Keddy Architect and Associates Ltd.

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056

Revisions / Issues:

NOTES:
COPYRIGHT RELATED TO THE USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

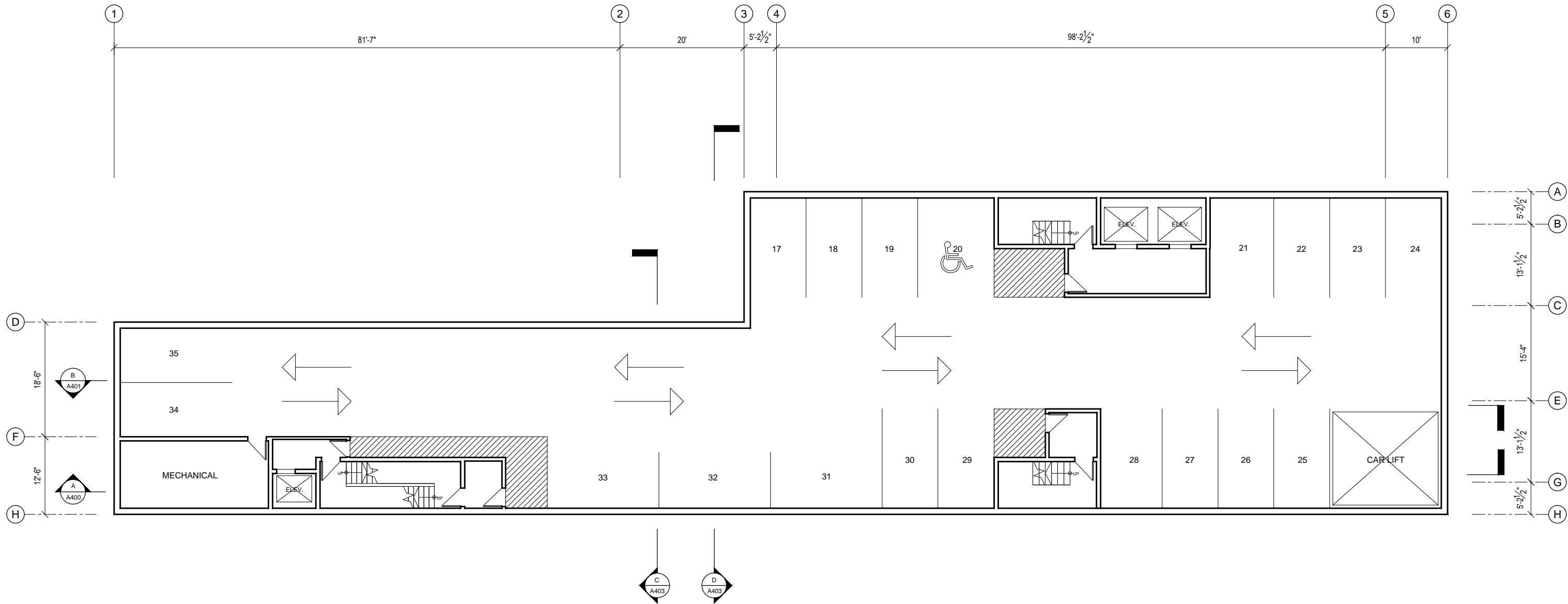
AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedents over elevations. In the absence of dimensions, or if discrepancies exists, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

site plan

a 100



SECOND LEVEL PARKING PLAN
SCALE : 1/6" = 1'-0"

SOUTH PARK APARTMENT
PROJECT

1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS

Geoff Keddy Architect
and Associates Ltd.

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056



Revisions / Issues:

NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

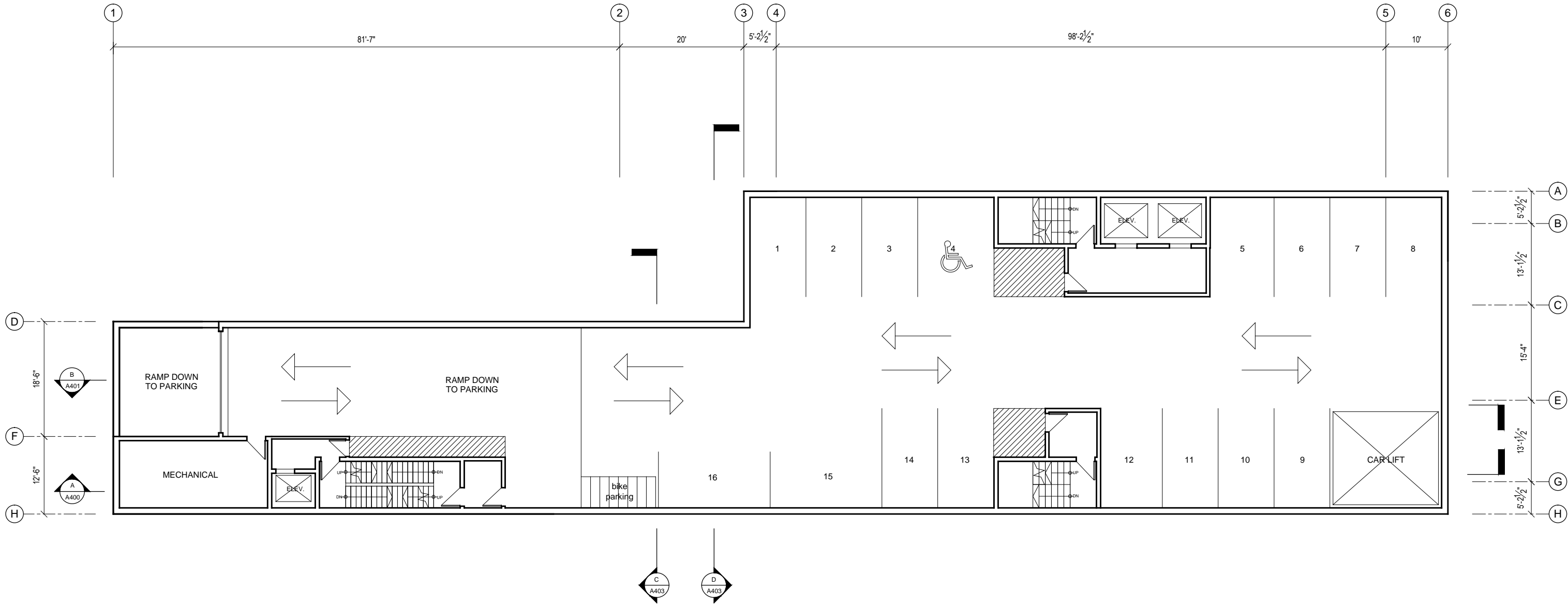
DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedents over elevations. In the absence of dimensions, or if discrepancies exists, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

first level
parking

Scale: 1' = 1/16"

a 200



FIRST LEVEL PARKING PLAN
SCALE : 1/6" = 1'-0"

**SOUTH PARK APARTMENT
PROJECT**

**1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS**

**Geoff Keddy Architect
and Associates Ltd.**

**5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4**

**902 420 9400
902 406 6056**



a	Issued for Development	Feb xx, 2015
Revisions / Issues:		

**NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:**

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

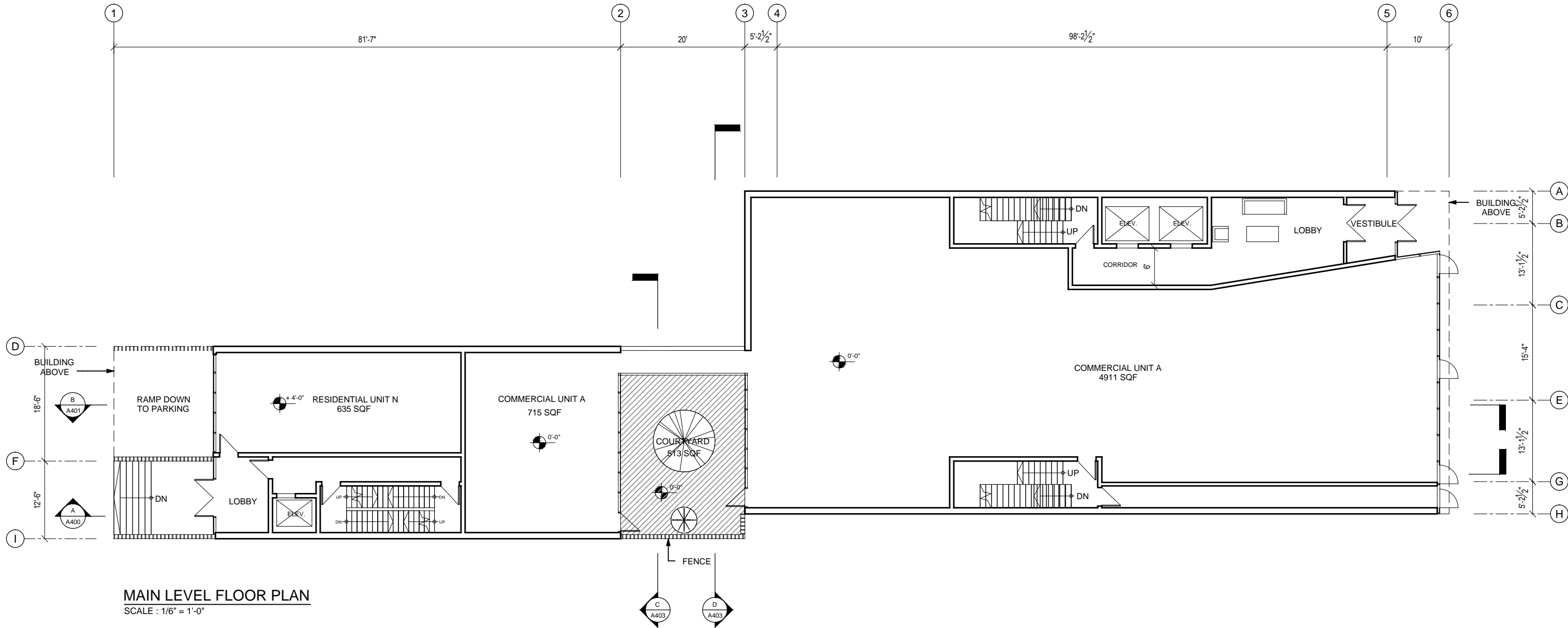
ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedents over elevations. In the absence of dimensions, or if discrepancies exist, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

**second level
parking**
Scale: 1' = 1/16"



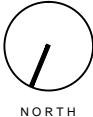
**SOUTH PARK APARTMENT
PROJECT**

1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS

**Geoff Keddy Architect
and Associates Ltd.**

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056



a	Issued for Development	Feb xx, 2015
Revisions / Issues:		

NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedents over elevations. In the absence of dimensions, or if discrepancies exists, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

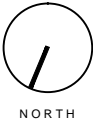
main level

a 202



**1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS**

902 420 9400
902 406 6056



a	Issued for Development	Feb xx, 2015

Revisions / Issues:

NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

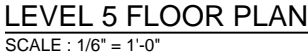
ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keddy Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, or if discrepancies exist, the Architect shall be consulted. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

203

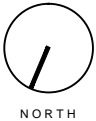




1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056



a	Issued for Development	Feb xx, 2015

Revisions / Issues:

NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keady Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Geoff Keady Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES' REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, or if discrepancies exist, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

level 6 - 10

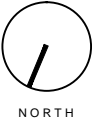
205



**1469 + 1473 South Park Street
1474 Brenton Street
Halifax, NS**

5357 Inglis Street
Halifax, Nova Scotia
B3H 1J4

902 420 9400
902 406 6056



a	Issued for Development	Feb xx, 2015

Revisions / Issues:

NOTES:
COPYRIGHT RELATED TO THE
USE OF THIS DRAWING:

The use of this drawing shall be governed by standard copyright law as generally accepted in architectural practice.

ARCHITECT'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Goff Keady Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.

ENGINEER'S REQUIREMENTS AND APPROVALS:
It is the Builder's responsibility to notify Goff Keady Architect and Associates Limited and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.

AUTHORITIES REQUIREMENTS AND APPROVALS:
All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.

DIMENSIONS:
All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations. In the absence of dimensions, or if discrepancies exist, consult the Architect. All minimum dimensions are to comply with the National Building Code of Canada.

SHOP DRAWINGS:
Submit shop drawings to the Architect and Engineer for approval prior to manufacture of prefabricated elements of the building.

penthouse

a 2 0 6

1

CEMBRIT HIGH DENSITY FIBRE CEMENT PANELS (CHARCOAL)

2

WHITE SPANDREL FACADE

3

VERTICAL WOOD SLAT WALL

4

GLAZING W/ STRUCTURAL SILICONE JOINTS

5

ALUMINUM WINDOWS (WHITE)

6

ALUMINUM WINDOWS (BLACK)

7

TRANSLUCENT GLASS GARAGE DOOR

8

CONCRETE STEP

9

CONCRETE TERRACE

10

WHITE METAL PANEL

11

GLASS GUARD RAIL

11

9

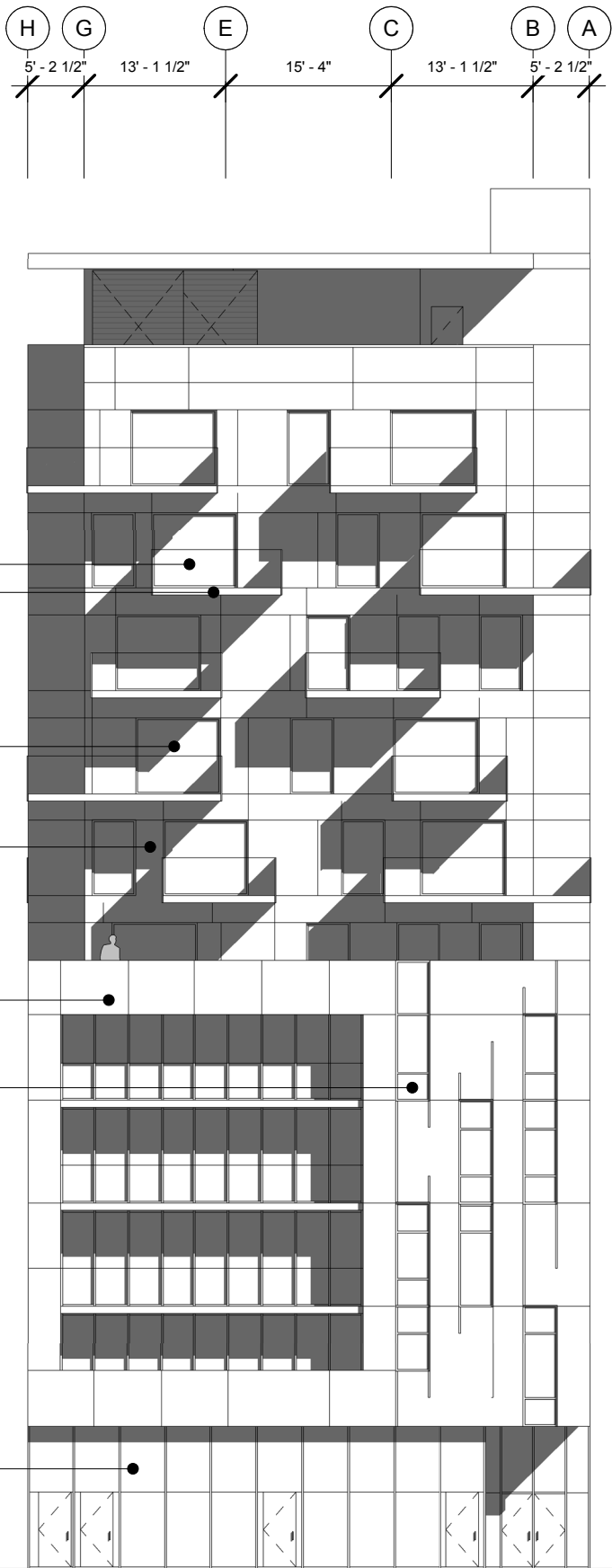
6

1

2

5

4



T.O. ELEVATOR PENTHOUSE

127' - 9 1/2"

T.O. PENTHOUSE ROOF

121' - 9 1/2"

T.O. PARAPET - SOUTHPARK

113' - 3 1/2"

ROOF/ PENTHOUSE- SOUTH PARK

109' - 9 1/2"

LEVEL 11 - SOUTH PARK

100' - 3 1/2"

LEVEL 10 - SOUTH PARK

90' - 9 1/2"

LEVEL 9 SOUTH PARK

81' - 3 1/2"

LEVEL 8 - SOUTH PARK

71' - 9 1/2"

LEVEL 7 - SOUTH PARK

62' - 3 1/2"

LEVEL 6 - SOUTH PARK

52' - 9 1/2"

LEVEL 5 - SOUTH PARK

43' - 3 1/2"

LEVEL 4- SOUTH PARK

33' - 9 1/2"

LEVEL 3 - SOUTH PARK

24' - 3 1/2"

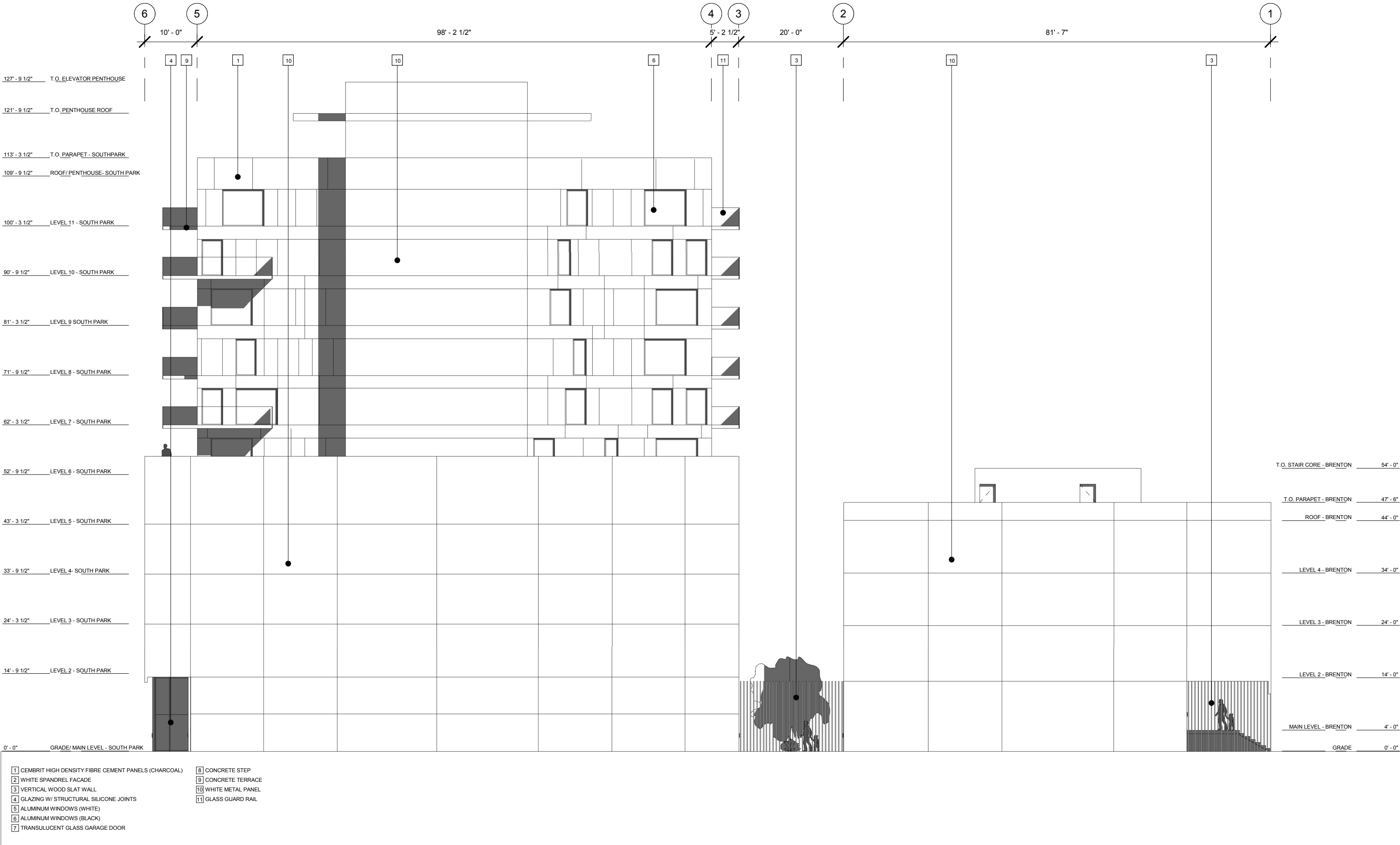
LEVEL 2 - SOUTH PARK

14' - 9 1/2"

GRADE/ MAIN LEVEL - SOUTH PARK

0' - 0"



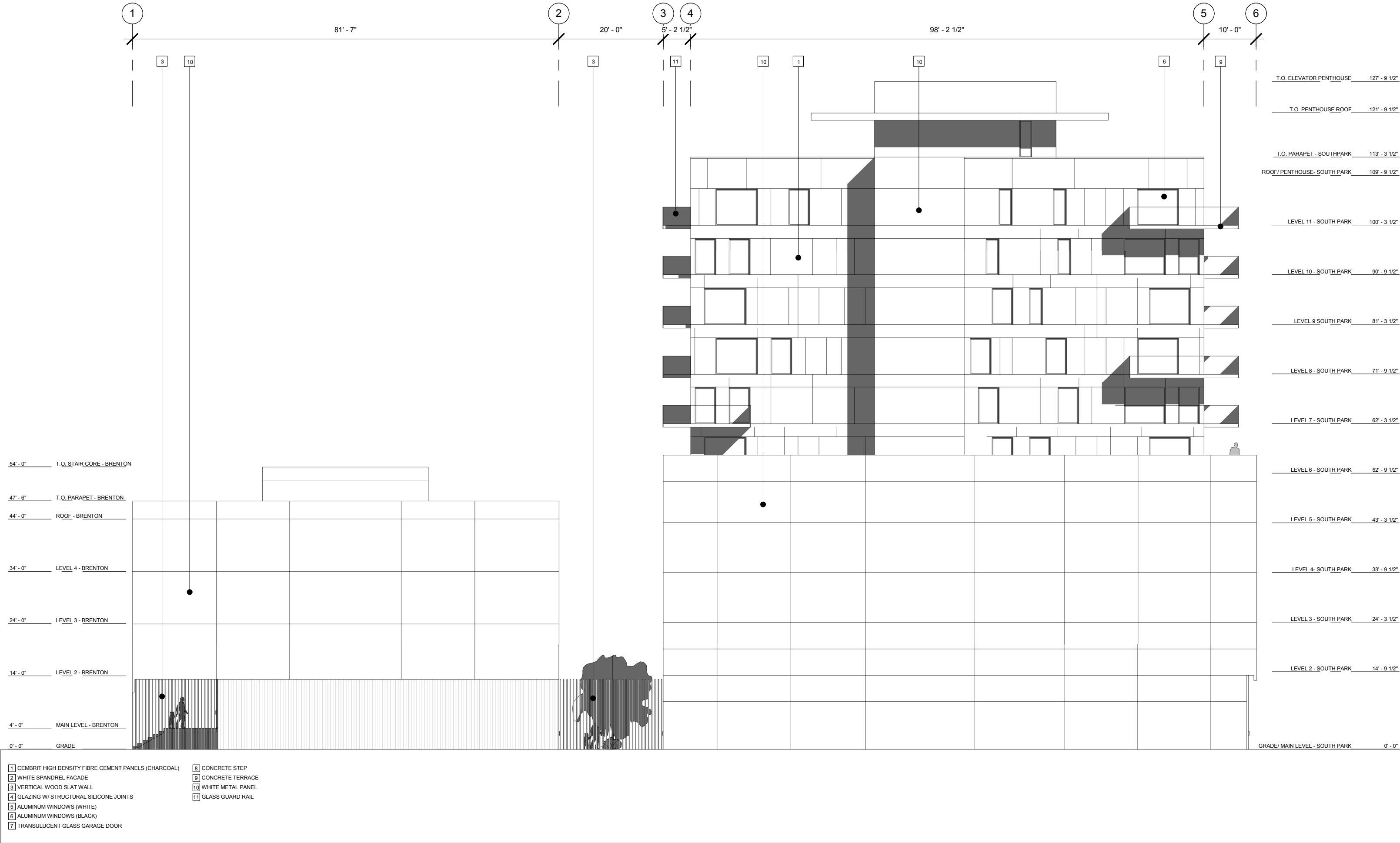


scale: 1/16" = 1'-0"
date: 06/04/15
drawn by: BM

GEOFF KEDDY ARCHITECT AND ASSOCIATES LTD.

SOUTH ELEVATION A302

SOUTH PARK APARTMENTS HALIFAX, NS

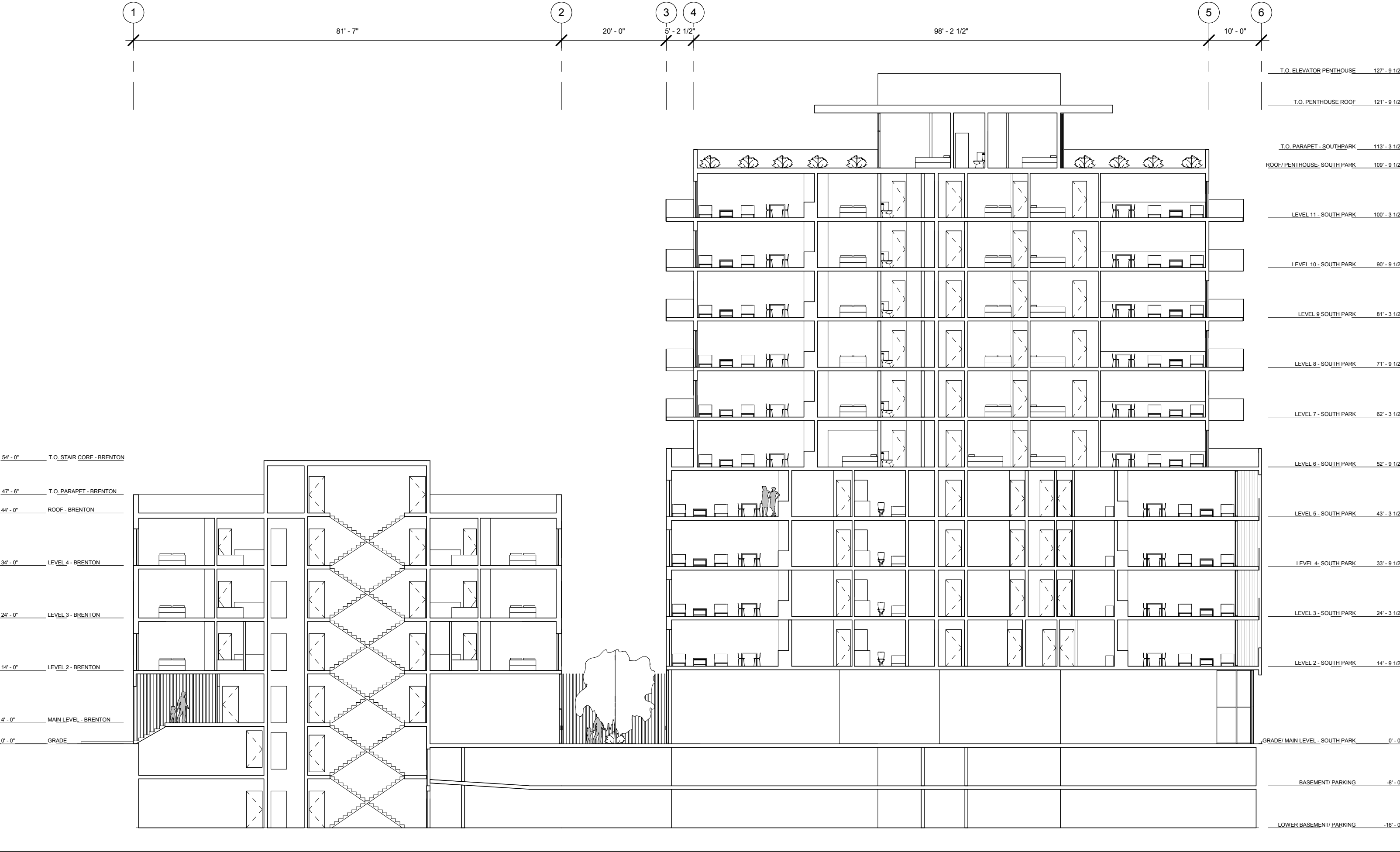


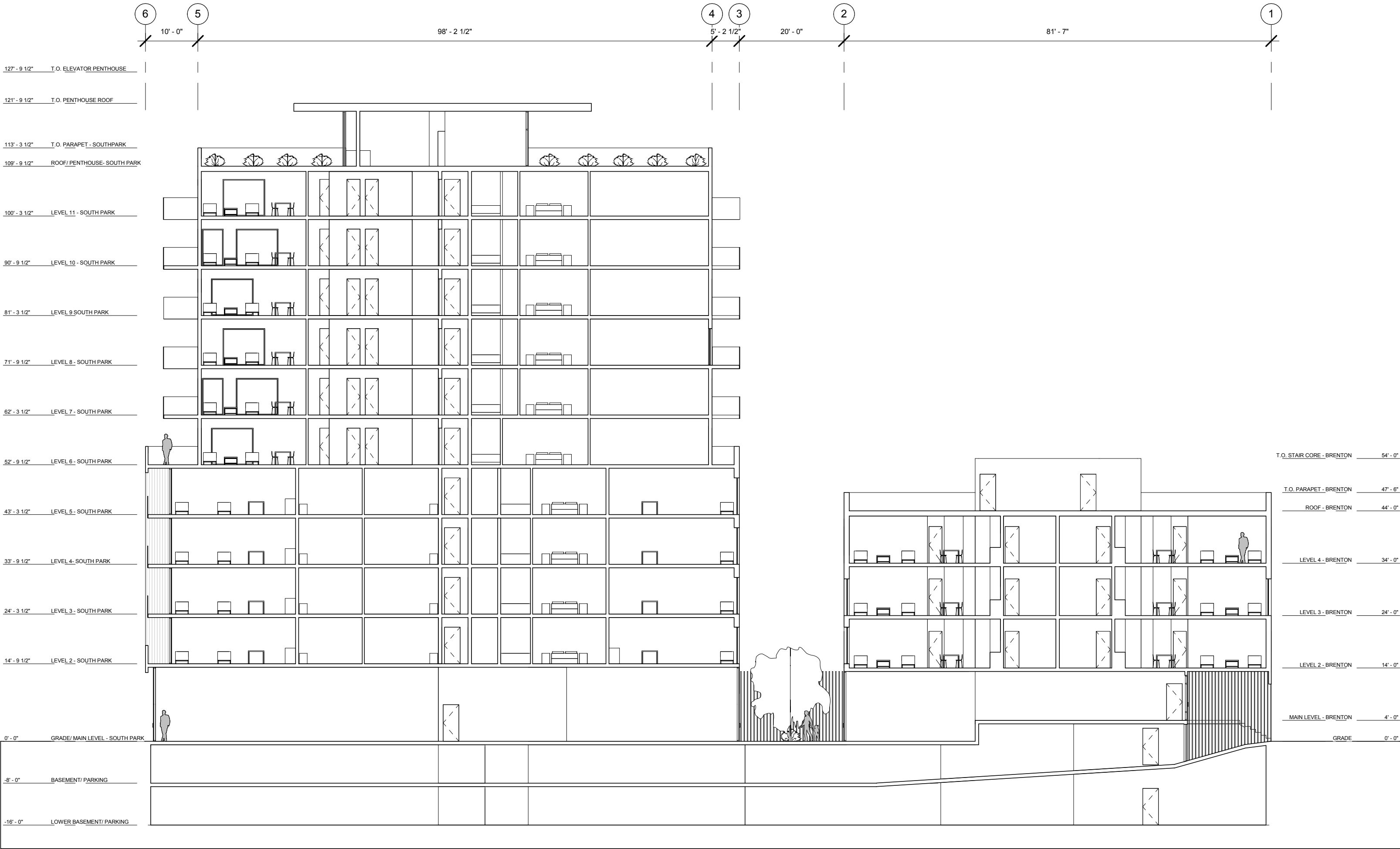
scale: 1/16" = 1'-0"
date: 06/04/15
drawn by: BM

GEOFF KEDDY ARCHITECT AND ASSOCIATES LTD.

NORTH ELEVATION A303

SOUTH PARK APARTMENTS HALIFAX, NS



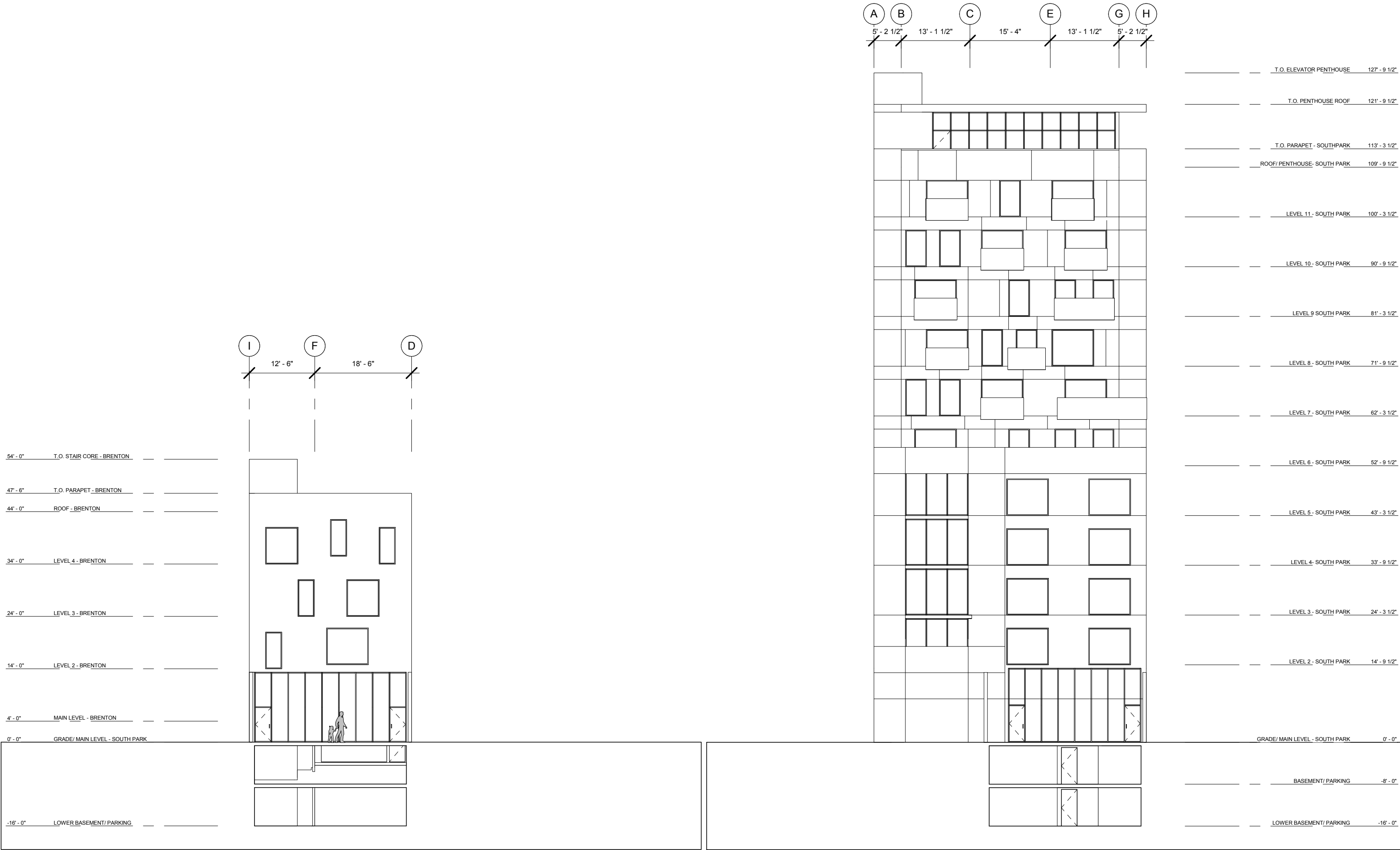


scale: 1/16" = 1'-0"
date: 06/04/15
drawn by: BM

GEOFF KEDDY ARCHITECT AND ASSOCIATES LTD.

LONGITDUNAL SECTION B
A401

SOUTH PARK APARTMENTS
HALIFAX, NS



scale: 1/16" = 1'-0"
date: 06/04/15
drawn by: BM

GEOFF KEDDY ARCHITECT AND ASSOCIATES LTD.

CROSS SECTION C + D
A402

SOUTH PARK APARTMENTS
HALIFAX, NS