

Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTANTIVE SITE PLAN APPROVAL
1	2013.09.25	SITE PLAN APPROVAL PRE-APP
No	Date	Issued



ELEVATIONS

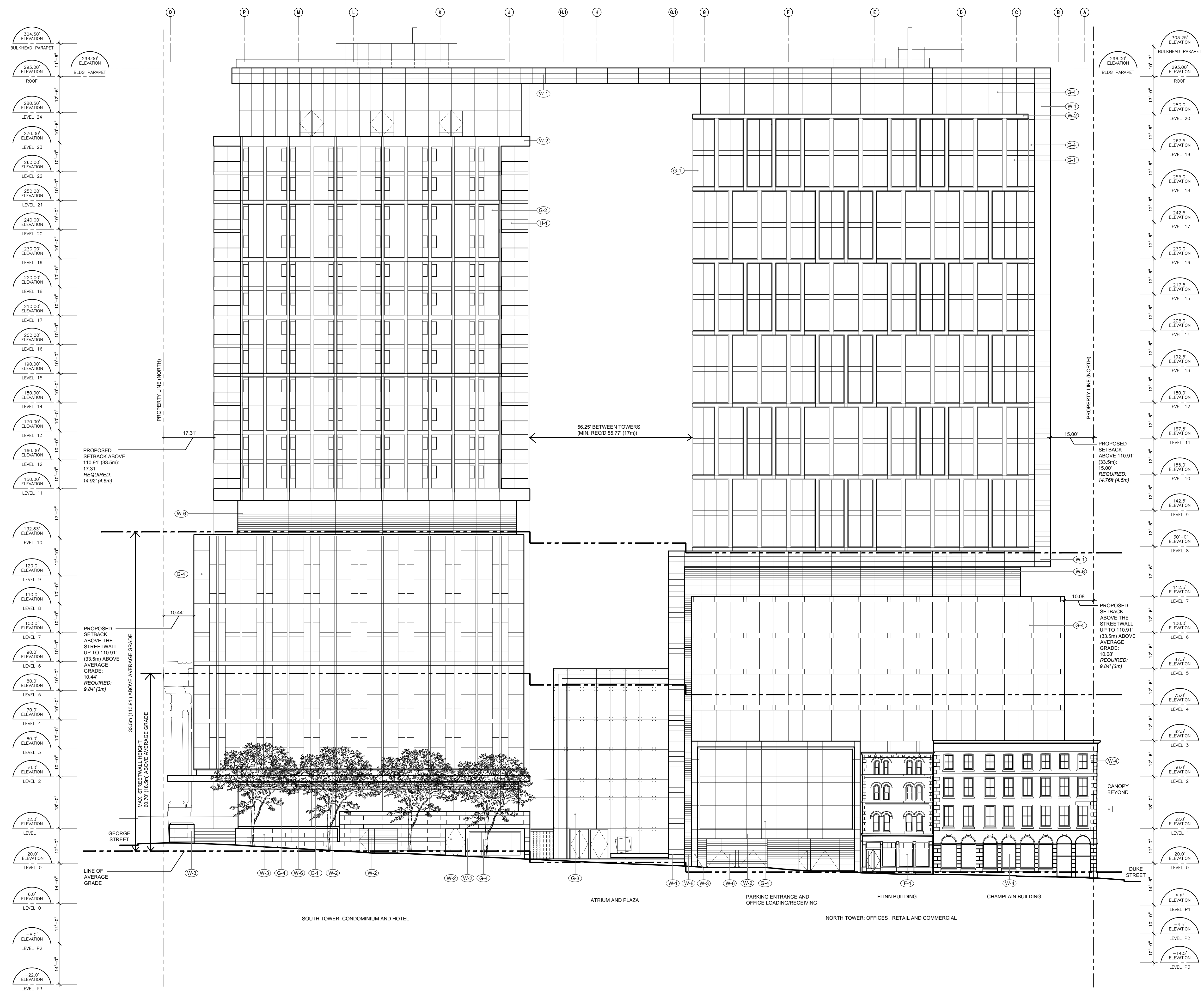
Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA

A-200

Architectural Envelope Systems

- LEGEND**
- (W-1) Glazed Tile Rainscreen.**
 - White gloss finish ceramic tile cladding.
 - All exposed metal trim white to match.
 - (W-2) Aluminum Flat Metal Rainscreen.**
 - Prefinished Metallic Silver Aluminum panels.
 - (W-3) Granite Tile Rainscreen.**
 - Salt and Pepper, polished or flamed finish granite tile cladding.
 - Typically 4' x 2' modules.
 - All exposed metal trim silver color.
 - (W-4) Masonry Rainscreen Facade Reconstruction (Champlain Building)**
 - New Masonry facade comprising:
 - Ground Level:
 - Existing granite blocks taken down, cleaned and reused.
 - New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 - Upper Floors:
 - White sand finished cement stucco on concrete block veneer.
 - Granite Quoins, base course and string courses. Existing granite blocks taken down, cleaned and reused. New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 - Copper sheet pressed Cornice detail taken down, repaired and reinstalled to new back up framing. New copper sheet formed to match where repair not possible.
 - New wood windows to match original fenestration pattern on upper floors.
 - New wood windows to match original fenestration pattern on ground floor.
 - New wood framed entrance screen, panelling and doors at corner.
 - (W-5) Reserved**
 - (W-6) Louvre Wall.**
 - Silver coloured aluminum preformed architectural louvre.
 - Concealed frame and fixings.
 - Birdinsect mesh or silver color solid metal sheet backing.
 - (E-1) Existing Façade Rehabilitation (Bank of Commerce building)**
 - Restored/repared granite masonry facades.
 - Replacement granite and mortar to match existing as new.
 - Existing wood, single glazed windows, door and entrance frame retained and repaired.
 - Secondary low-E double glazed screens on interior of openings with fenestration pattern to match existing.
 - Fabric awnings and metal supports removed. Banner supports and sconce lights removed. Fixing holes grouted to match stone color.
 - (E-2) Existing Façade Rehabilitation (McLeod & Finn Building)**
 - Restored/repared brick masonry with sandstone detailed facades.
 - Replacement brick, sandstone and mortar to match existing as new.
 - New wood windows to match original 'as built' fenestration pattern.
 - New wood door and entrance screen to match original 'as built' fenestration pattern.
 - Fabric awnings and metal supports removed. Banner supports & exterior services removed. Fixing holes grouted to match stone color.
 - (E-3) Existing Façade Rehabilitation (Merchant's Bank of Canada Bldg)**
 - Restored/repared terra cotta clad brick masonry facades.
 - Replacement White Glazed Terracotta Tile, back-up brick and white mortar to match existing as new.
 - New wood windows to match original 1924 fenestration pattern.
 - New wood door and entrance screen to match original 1924 fenestration pattern.
 - (G-1) Utilized Curtain Wall Type 1.**
 - Clear glass, insulated double glazed, low-E Utilized Curtain Wall with silver color aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
 - Prefinished, silver color aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.
 - (G-2) Utilized Curtain Wall Type 2.**
 - Clear glass, insulated double glazed, low-E Utilized Curtain Wall with silver aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Operable lights are outward opening and capless frames.
 - Intermediate joints within panels; dark coloured SSG sealant.
 - Prefinished aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.
 - Balcony fronts clear structural glass to match with brushed stainless steel handrails.
 - (G-3) Curtain Wall Type 3.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on polished stainless steel cable support frame back to main structure. All externally exposed fixings are brush finish stainless steel.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
 - (G-4) Curtain Wall Type 4.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on prefinished aluminum curtain wall back-box frame back to structure.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant. Balcony fronts clear structural glass to match with brushed stainless steel handrails.
 - (C-1) S.S. Canopy.**
 - Polished Stainless steel sheet finish composite cladding to front faces and underside.
 - Polished stainless steel connections and details.
 - (D-1) Prefinished, silver color, Exterior Metal Door.**
 - (D-2) Prefinished, silver color, Insulated Exterior Metal Sectional Door.**
 - (H-1) Structural Glass Guardrail with S.S. Handrail. Note: at roof level this is 6' high from FFL.**

- BYLAW AND MPS STANDARDS REFERENCED:**
- MAP 1: DH1 DOWNTOWN HALIFAX ZONE
 - MAP 2: LOWER CENTRAL DOWNTOWN PRECINCT
 - MAP 4: MAXIMUM PRE-BONUS HEIGHT= 49m (160.76')
 - MAP 5: MAXIMUM POST-BONUS HEIGHT= RAMPART MAXIMUM
 - MAP 6: STREET WALL SETBACK= 0 TO 1.5 m (0 TO 4.92FT)
 - MAP 7: MAXIMUM STREET WALL HEIGHT= 18.5m (60.70R)
 - MAP 8: LOCATED WITHIN THE CENTRAL BLOCKS
 - MINIMUM 3m (9.84ft) SETBACK ABOVE THE STREETWALL UP TO 33.5m (109.91ft) IN HEIGHT
 - MINIMUM 4.5m (14.76ft) SETBACK ABOVE 33.5m HEIGHT
 - MINIMUM DISTANCE BETWEEN HIGH-RISE PORTIONS OF BUILDINGS IF ONE BUILDING IS USED FOR COMMERCIAL PURPOSES= 17m (55.77ft)
 - MAXIMUM TOWER SIZES= 27.5m (90.22ft) WIDE x 38M (124.67ft) DEEP
 - BALCONIES MAY PROTRUDE SETBACKS, STEPBACKS AND SEPERATION DISTANCES PROVIDED IT IS WITHIN 2m (6.56ft) FROM THE BUILDING FACE AND THE AGGREGATE LENGTH DOES NOT EXCEED 50% OF THE WIDTH OF THE BUILDING FACE



1 EAST ELEVATION
1/16" = 1'-0"

PLOTTED ON: 11/02/14 AT 03:03:19 PM
 F:\13006 DOWNTOWN HALIFAX DEVELOPMENT\02 DRAWINGS\01 SCHEMATIC DESIGN\03 CAD DRAWINGS\ELEVATIONS.dwg

Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTATIVE SITE PLAN APPROVAL
1	2013.09.25	60% SUBMITTAL APPROVAL PRE-APP
No	Date	Issued



ELEVATIONS

Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA

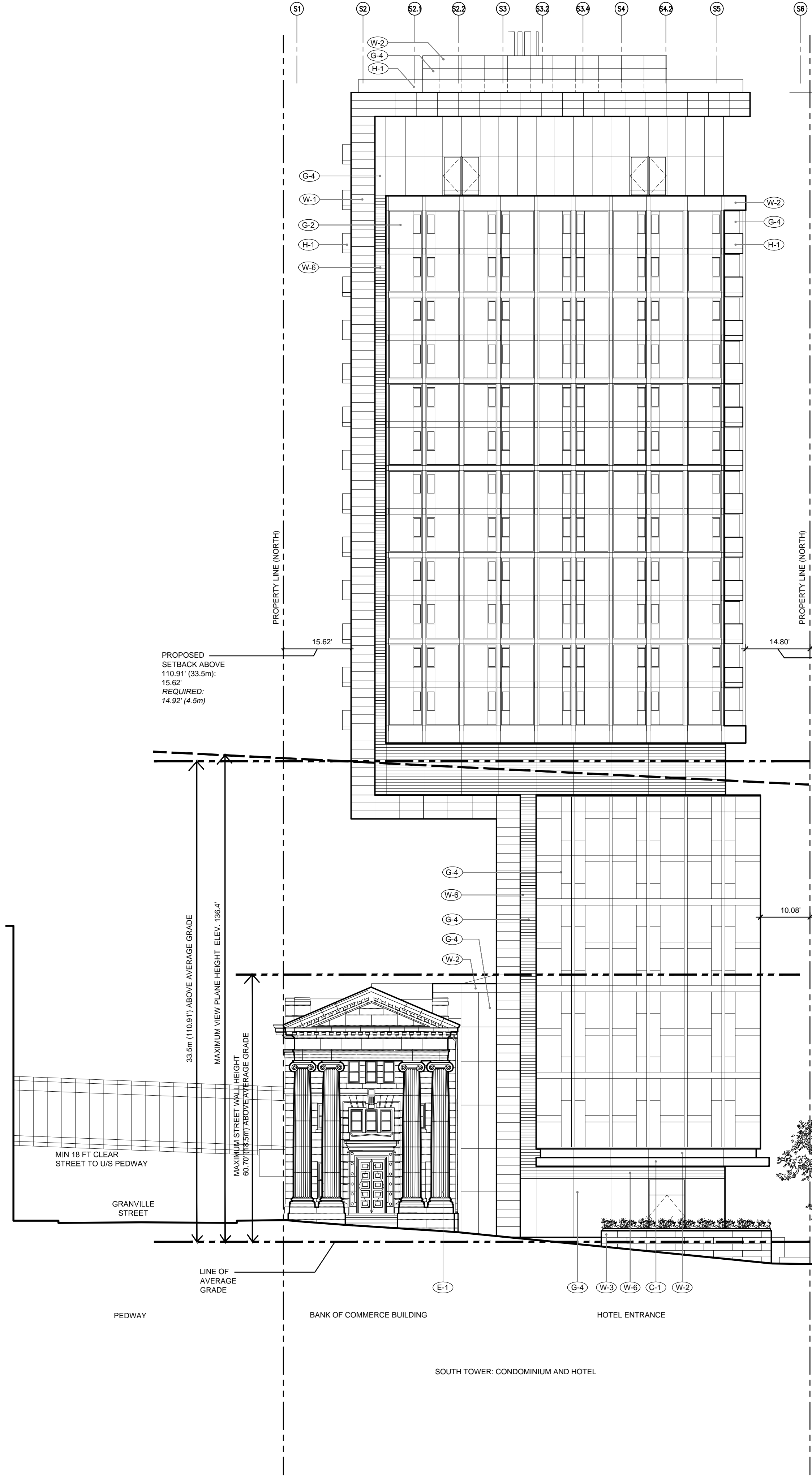
Architectural Envelope Systems

LEGEND

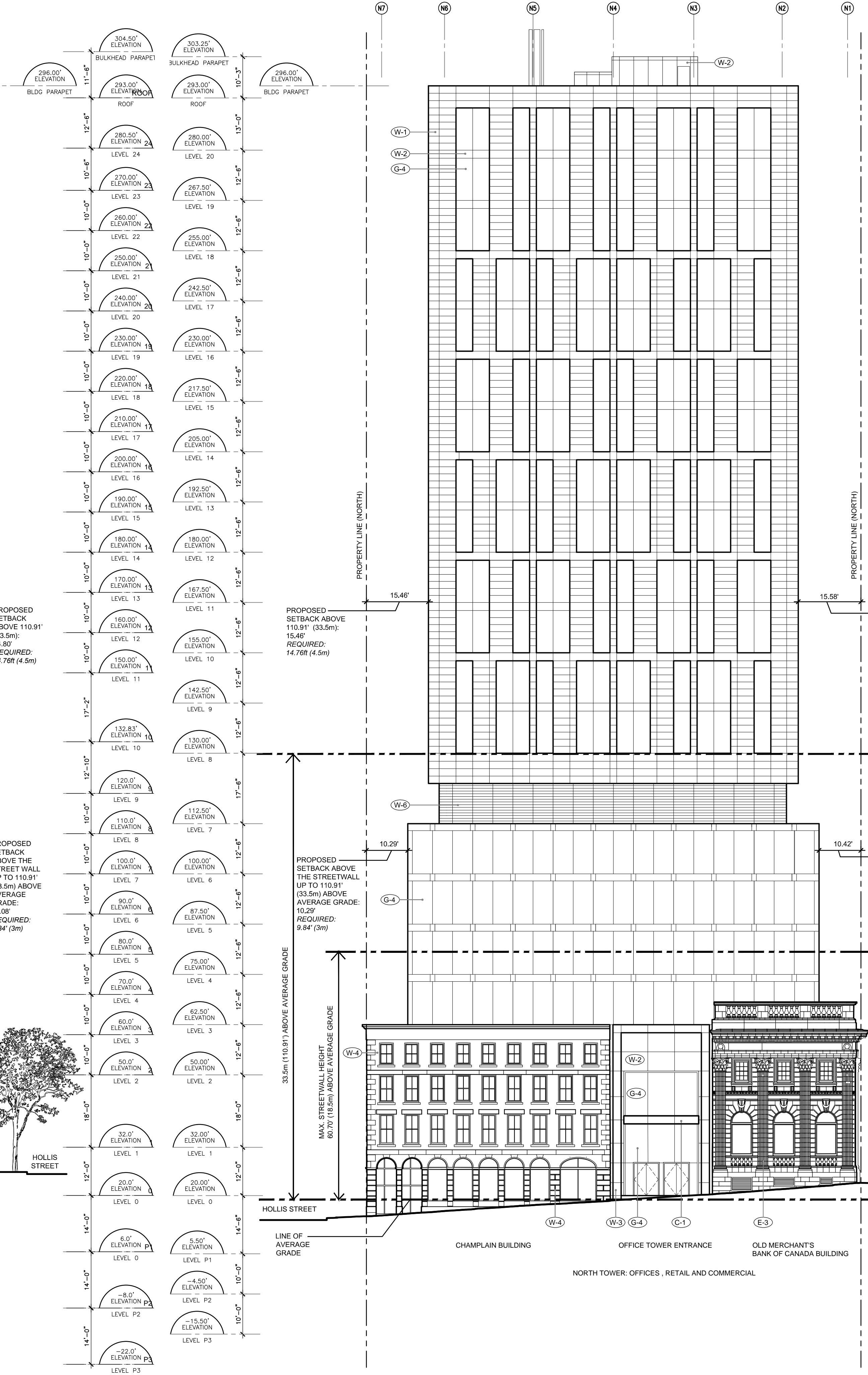
- (W-1) Glazed Tile Rainscreen.**
 - White gloss finish ceramic tile cladding.
 - All exposed metal trim white to match.
- (W-2) Aluminum Flat Metal Rainscreen.**
 - Prefinished Metallic Silver Aluminum panels.
- (W-3) Granite Tile Rainscreen.**
 - Salt and Pepper, polished or flamed finish granite tile cladding.
 - Typically 4" x 2" modules.
 - All exposed metal trim silver color.
- (W-4) Masonry Rainscreen Façade Reconstruction (Champlain Building)**
 - New Masonry façade comprising:
 - Ground Level:
 - Existing granite blocks taken down, cleaned and reused.
 - New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 - Upper Floors:
 - White sand finished cement stucco on concrete block veneer.
 - Granite Quoins, base course and string courses. Existing granite blocks taken down, cleaned and reused. New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 - Copper sheet pressed Cornice detail taken down, repaired and reinstalled to new back up framing. New copper sheet formed to match where repair not possible.
 - New wood windows to match original fenestration pattern on upper floors.
 - New wood windows to match original fenestration pattern on ground floor.
 - New wood framed entrance screen, panelling and doors at corner.
- (W-5) Reserved**
- (W-6) Louvre Wall.**
 - Silver coloured aluminum preformed architectural louvre.
 - Concealed frame and fittings.
 - Bird/insect mesh or silver color solid metal sheet backing.
- (E-1) Existing Façade Rehabilitation (Bank of Commerce Building)**
 - Restored/repaired granite masonry facades.
 - Replacement granite and mortar to match existing as new.
 - Existing wood, single glazed windows, door and entrance frame retained and repaired.
 - Secondary low-E double glazed screens on interior of openings with fenestration pattern to match existing.
 - Fabric awnings and metal supports removed. Banner supports and sconce lights removed. Fixing holes grouted to match stone color.
- (E-2) Existing Façade Rehabilitation (McLeod & Flinn Building)**
 - Restored/repaired brick masonry with sandstone detailed facades.
 - Replacement brick, sandstone and mortar to match existing as new.
 - New wood windows to match original 'as built' fenestration pattern.
 - New wood door and entrance screen to match original 'as built' fenestration pattern.
 - Fabric awnings and metal supports removed. Banner supports & exterior services removed. Fixing holes grouted to match stone color.
- (E-3) Existing Façade Rehabilitation (Merchant's Bank of Canada Bldg)**
 - Restored/repaired terra cotta clad brick masonry facades.
 - Replacement White Glazed Terracotta Tile, back-up brick and white mortar to match existing as new.
 - New wood windows to match original 1924 fenestration pattern.
 - New wood door and entrance screen to match original 1924 fenestration pattern.
- (G-1) Unitised Curtain Wall Type 1.**
 - Clear glass, insulated double glazed, low-E Unitised Curtain Wall with silver color aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
 - Prefinished, silver color aluminum composite panel bands at alternate story heights, to verticals between Glazed panels and to horizontal capping strip at head.
- (G-2) Unitised Curtain Wall Type 2**
 - Clear glass, insulated double glazed, low-E Unitised Curtain Wall with silver aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Operable lights are outward opening and capless frames.
 - Intermediate joints within panels: dark coloured SSG sealant.
 - Prefinished aluminum composite panel bands at alternate story heights, to verticals between Glazed panels and to horizontal capping strip at head.
 - Balcony fronts clear structural glass to match with brushed stainless steel handrails.
- (G-3) Curtain Wall Type 3.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on polished stainless steel cable support frame back to main structure. All externally exposed fixings are brush finish stainless steel.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
- (G-4) Curtain Wall Type 4.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on prefinished aluminum curtain wall back-box frame back to structure.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant. Balcony fronts clear structural glass to match with brushed stainless steel handrails.
- (C-1) S.S. Canopy.**
 - Polished Stainless steel sheet finish composite cladding to front faces and underside.
 - Polished stainless steel connections and details.
- (D-1) Prefinished, silver color, Exterior Metal Door.**
- (D-2) Prefinished, silver color, Insulated Exterior Metal Sectional Door.**
- (H-1) Structural Glass Guardrail with S.S. Handrail. Note: at roof level this is 6' high from FFL.**

BYLAW AND MPS STANDARDS REFERENCED:

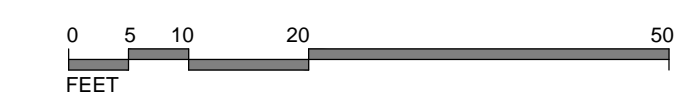
- MAP 1: DHI DOWNTOWN HALIFAX ZONE
- MAP 2: LOWER CENTRAL DOWNTOWN PRECINCT
- MAP 4: MAXIMUM PRE-BONUS HEIGHT= 49m (160.76')
- MAP 5: MAXIMUM POST-BONUS HEIGHT= RAMPART MAXIMUM
- MAP 6: STREET WALL SETBACK= 0 TO 1.5 m (0 TO 4.92FT)
- MAP 7: MAXIMUM STREET WALL HEIGHT= 18.5m (60.70ft)
- MAP 8: LOCATED WITHIN THE CENTRAL BLOCKS
- MINIMUM 3m (9.84ft) SETBACK ABOVE THE STREETWALL UP TO 33.5m (109.91ft) IN HEIGHT
- MINIMUM 4.5m (14.76ft) SETBACK ABOVE 33.5m HEIGHT
- MINIMUM DISTANCE BETWEEN HIGH-RISE PORTIONS OF BUILDINGS IF ONE BUILDING IS USED FOR COMMERCIAL PURPOSES=17m (55.77ft)
- MAXIMUM TOWER SIZES=27.5m(90.22ft) WIDE x 38M (124.67ft) DEEP
- BALCONIES MAY PROTRUDE SETBACKS, STEPBACKS AND SEPERATION DISTANCES PROVIDED IT IS WITHIN 2m (6.56ft) FROM THE BUILDING FACE AND THE AGGREGATE LENGTH DOES NOT EXCEED 50% OF THE WIDTH OF THE BUILDING FACE



2 SOUTH ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTANTIVE SITE PLAN APPROVAL
1	2013.09.25	60% SUBSTANTIVE PRE-APP
No	Date	Issued



ELEVATIONS

Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA

Architectural Envelope Systems

LEGEND

- (W-1) Glazed Tile Rainscreen.**
- White gloss finish ceramic tile cladding.
 - All exposed metal trim white to match.

- (W-2) Aluminum Flat Metal Rainscreen.**
- Prefinished Metallic Silver Aluminum panels.

- (W-3) Granite Tile Rainscreen.**
- Salt and Pepper, polished or flamed finish granite tile cladding.
 - Typically 4" x 2" modules.
 - All exposed metal trim silver color.

(W-4) Masonry Rainscreen Façade Reconstruction (Champlain Building)

- New Masonry façade comprising:-
Ground Level:
Existing granite blocks taken down, cleaned and reused.
- New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
- Upper Floors:
White sand finished cement stucco on concrete block veneer.
- Granite Quoins, base course and string courses. Existing granite blocks taken down, cleaned and reused. New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
- Copper sheet pressed Cornice detail taken down, repaired and reinstalled to new back up framing. New copper sheet formed to match where repair not possible.
- New wood windows to match original fenestration pattern on upper floors.
- New wood windows to match original fenestration pattern on ground floor.
- New wood framed entrance screen, panelling and doors at corner.

(W-5) Reserved

- (W-5) Louvre Wall.**
- Silver coloured aluminum preformed architectural louvre.
 - Concealed frame and fixings.
 - Birdinsect mesh or silver color solid metal sheet backing.

(E-1) Existing Façade Rehabilitation (Bank of Commerce building)

- Restored/repared granite masonry facades.
- Replacement granite and mortar to match existing as new.
- Existing wood, single glazed windows, door and entrance frame retained and repaired.
- Secondary low-E double glazed screens on interior of openings with fenestration pattern to match existing.
- Fabric awnings and metal supports removed. Banner supports and sconce lights removed. Fixing holes grouted to match stone color.

(E-2) Existing Façade Rehabilitation (McLeod & Finn Building)

- Restored/repared brick masonry with sandstone detailed facades.
- Replacement brick, sandstone and mortar to match existing as new.
- New wood windows to match original 'as built' fenestration pattern.
- New wood door and entrance screen to match original 'as built' fenestration pattern.
- Fabric awnings and metal supports removed. Banner supports & exterior services removed. Fixing holes grouted to match stone color.

(E-3) Existing Façade Rehabilitation (Merchant's Bank of Canada Bldg)

- Restored/repared terra cotta clad brick masonry facades.
- Replacement White Glazed Terracotta Tile, back-up brick and white mortar to match existing as new.
- New wood windows to match original 1924 fenestration pattern.
- New wood door and entrance screen to match original 1924 fenestration pattern.

(G-1) Unitised Curtain Wall Type 1.

- Clear glass, insulated double glazed, low-E Unitized Curtain Wall with silver color aluminum caps and edge panels.
- Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
- Prefinished, silver color aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.

(G-2) Unitised Curtain Wall Type 2

- Clear glass, insulated double glazed, low-E Unitized Curtain Wall with silver aluminum caps and edge panels.
- Glazed spandrel panels to match color of glass. Operable lights are outward opening and capless frames.
- Intermediate joints within panels; dark coloured SSG sealant.
- Prefinished aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.
- Balcony fronts clear structural glass to match with brushed stainless steel handrails.

(G-3) Curtain Wall Type 3.

- Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on polished stainless steel cable support frame back to main structure. All externally exposed fixings are brush finish stainless steel.
- Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.

(G-4) Curtain Wall Type 4.

- Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on prefinished aluminum curtain wall back-box frame back to structure.
- Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant. Balcony fronts clear structural glass to match with brushed stainless steel handrails.

(C-1) S.S. Canopy.

- Polished Stainless steel sheet finish composite cladding to front faces and underside.
- Polished stainless steel connections and details.

(D-1) Prefinished, silver color, Exterior Metal Door.

(D-2) Prefinished, silver color, Insulated Exterior Metal Sectional Door.

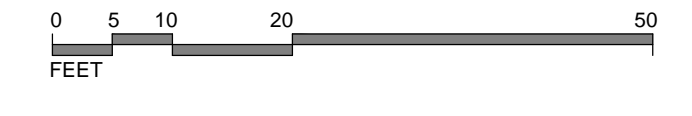
(H-1) Structural Glass Guardrail with S.S. Handrail. Note: at roof level this is 6' high from FFL.

BYLAW AND MPS STANDARDS REFERENCED:

- MAP 1: DH1 DOWNTOWN HALIFAX ZONE
- MAP 2: LOWER CENTRAL DOWNTOWN PRECINCT
- MAP 4: MAXIMUM PRE-BONUS HEIGHT= 49m (160.76')
- MAP 5: MAXIMUM POST-BONUS HEIGHT= RAMPART MAXIMUM
- MAP 6: STREET WALL SETBACK= 0 TO 1.5 m (0 TO 4.92FT)
- MAP 7: MAXIMUM STREET WALL HEIGHT= 18.5m (60.70')
- MAP 8: LOCATED WITHIN THE CENTRAL BLOCKS
- MINIMUM 3m (9.84') SETBACK ABOVE THE STREETWALL UP TO 33.5m(109.91ft) IN HEIGHT
- MINIMUM 4.5m (14.76ft) SETBACK ABOVE 33.5m HEIGHT
- MINIMUM DISTANCE BETWEEN HIGH-RISE PORTIONS OF BUILDINGS IF ONE BUILDING IS USED FOR COMMERCIAL PURPOSES= 17m (55.77')
- MAXIMUM TOWER SIZES= 27.5m(90.22ft) WIDE x 38m (124.67ft) DEEP
- BALCONIES MAY PROTRUDE SETBACKS, STEPBACKS AND SEPERATION DISTANCES PROVIDED IT IS WITHIN 2m (6.56ft) FROM THE BUILDING FACE AND THE AGGREGATE LENGTH DOES NOT EXCEED 50% OF THE WIDTH OF THE BUILDING FACE



1 WEST ELEVATION
1/16" = 1'-0"



PLOTTED ON: 11/02/14 AT 05:16:30 PM
 F:\13006 DOWNTOWN HALIFAX DEVELOPMENT\02 DRAWINGS\01 SCHEMATIC DESIGN\03 CAD DRAWINGS\ELEVATIONS.dwg

Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTATIVE SITE PLAN APPROVAL
1	2013.09.25	60% SLAT APPROVAL PRE-APP
No	Date	Issued



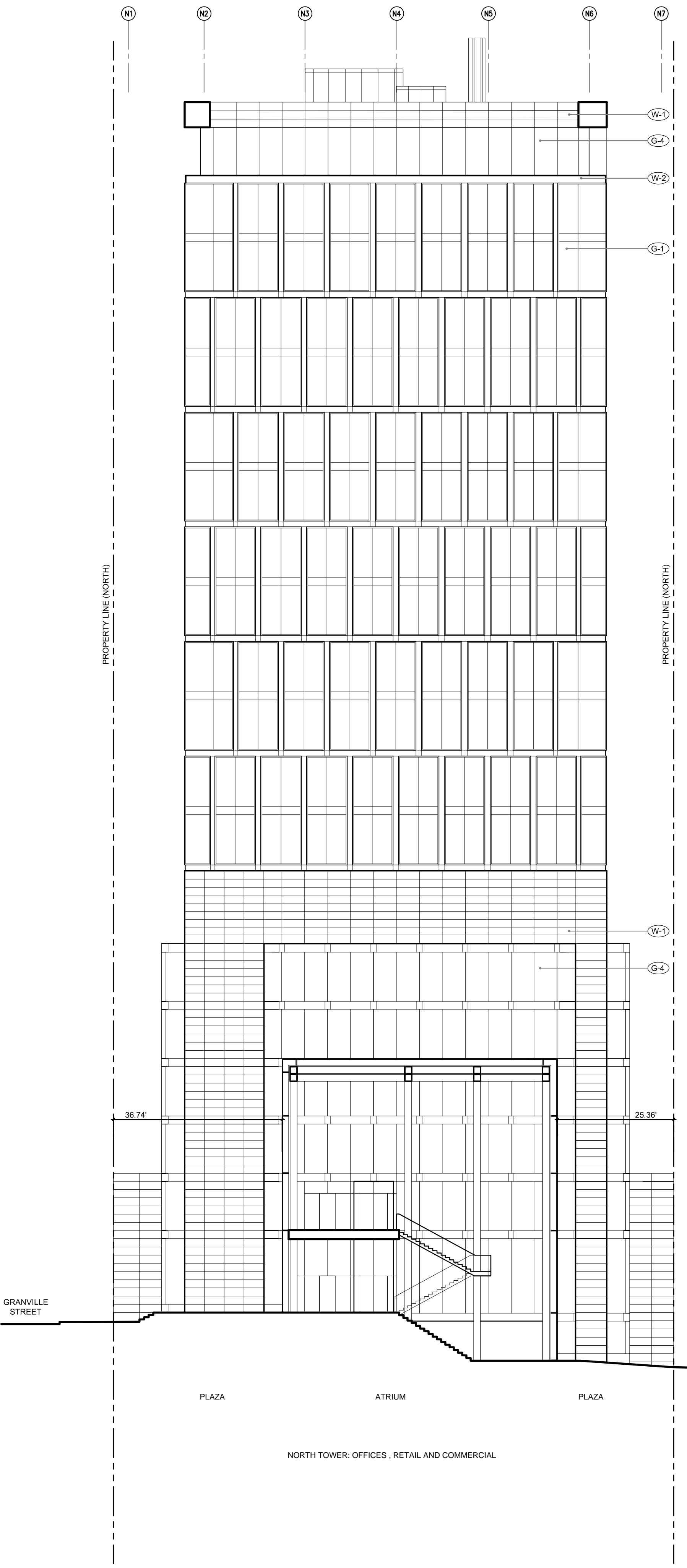
ELEVATIONS

Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA

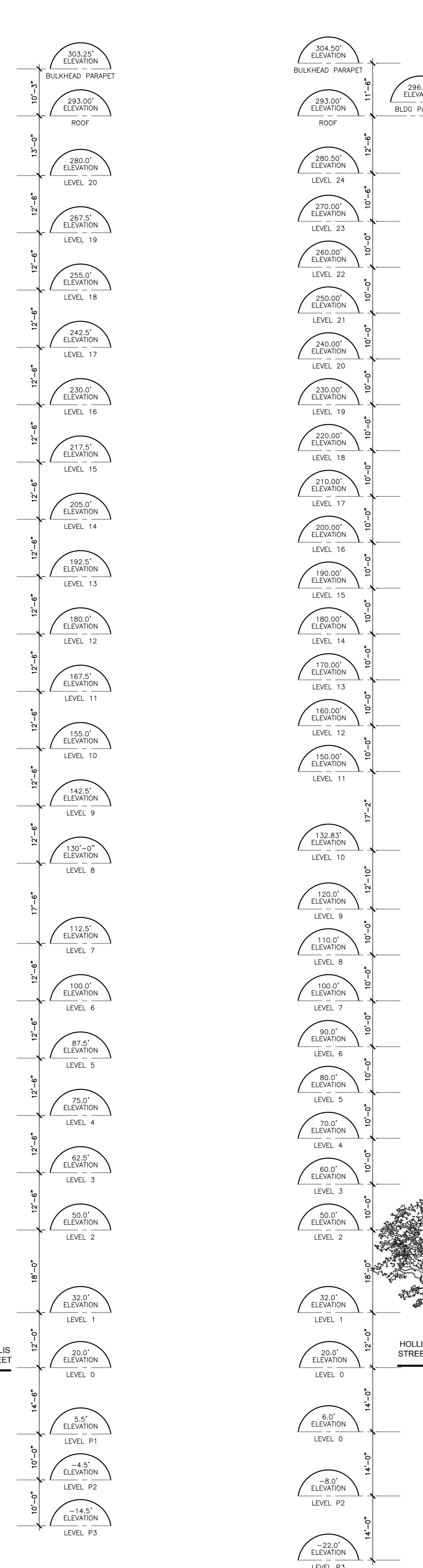
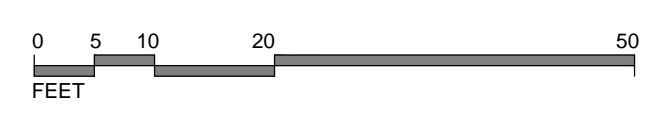
Architectural Envelope Systems

- LEGEND
- (W-1) Glazed Tile Rainscreen.**
 - White gloss finish ceramic tile cladding.
 - All exposed metal trim white to match.
 - (W-2) Aluminum Flat Metal Rainscreen.**
 - Prefinished Metallic Silver Aluminum panels.
 - (W-3) Granite Tile Rainscreen.**
 - Salt and Pepper, polished or flamed finish granite tile cladding.
 - Typically 4' x 2' modules.
 - All exposed metal trim silver color.
 - (W-4) Masonry Rainscreen Façade Reconstruction (Champlain Building)**
 - New Masonry façade comprising:-
Ground Level
 - Existing granite blocks taken down, cleaned and reused.
 - New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 Upper Floors:
 - White sand finished cement stucco on concrete block veneer.
 - Granite Quoins, base course and string courses. Existing granite blocks taken down, cleaned and reused. New Nova Scotia Light Grey Granite to match used as replacement where stones are damaged or not useable.
 - Copper sheet pressed Cornice detail taken down, repaired and reinstalled to new back up framing. New copper sheet formed to match where repair not possible.
 - New wood windows to match original fenestration pattern on upper floors.
 - New wood windows to match original fenestration pattern on ground floor.
 - New wood framed entrance screen, panelling and doors at corner.
 - (W-5) Reserved**
 - (W-6) Louvre Wall.**
 - Silver coloured aluminum preformed architectural louver.
 - Concealed frame and fixings.
 - Bird/insect mesh or silver color solid metal sheet backing.
 - (E-1) Existing Façade Rehabilitation (Bank of Commerce building)**
 - Restored/repaired granite masonry facades.
 - Replacement granite and mortar to match existing as new.
 - Existing wood, single glazed windows, door and entrance frame retained and repaired.
 - Secondary low-E double glazed screens on interior of openings with fenestration pattern to match existing.
 - Fabric awnings and metal supports removed. Banner supports and sconce lights removed. Fixing holes grouted to match stone color.
 - (E-2) Existing Façade Rehabilitation (McLeod & Flinn Building)**
 - Restored/repaired brick masonry with sandstone detailed facades.
 - Replacement brick, sandstone and mortar to match existing as new.
 - New wood windows to match original 'as built' fenestration pattern.
 - New wood door and entrance screen to match original 'as built' fenestration pattern.
 - Fabric awnings and metal supports removed. Banner supports & exterior services removed. Fixing holes grouted to match stone color.
 - (E-3) Existing Façade Rehabilitation (Merchant's Bank of Canada Bldg)**
 - Restored/repaired terra cotta clad brick masonry facades.
 - Replacement White Glazed Terracotta Tile, back-up brick and white mortar to match existing as new.
 - New wood windows to match original 1924 fenestration pattern.
 - New wood door and entrance screen to match original 1924 fenestration pattern.
 - (G-1) Unitised Curtain Wall Type 1.**
 - Clear glass, insulated double glazed, low-E Unitised Curtain Wall with silver color aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
 - Prefinished, silver color aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.
 - (G-2) Unitised Curtain Wall Type 2**
 - Clear glass, insulated double glazed, low-E Unitised Curtain Wall with silver aluminum caps and edge panels.
 - Glazed spandrel panels to match color of glass. Operable lights are outward opening and capless frames.
 - Intermediate joints within panels, dark coloured SSG sealant.
 - Prefinished aluminum composite panel bands at alternate storey heights, to verticals between Glazed panels and to horizontal capping strip at head.
 - Balcony fronts clear structural glass to match with brushed stainless steel handrails.
 - (G-3) Curtain Wall Type 3.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on polished stainless steel cable support frame back to main structure. All externally exposed fixings are brush finish stainless steel.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant.
 - (G-4) Curtain Wall Type 4.**
 - Clear glass, insulated double glazed, low-E Curtain Wall with dark coloured SSG between glazed panels. System supported on prefinished aluminum curtain wall back-box frame back to structure.
 - Glazed spandrel panels to match color of glass. Intermediate joints within panels dark coloured SSG sealant. Balcony fronts clear structural glass to match with brushed stainless steel handrails.
 - (C-1) S.S. Canopy.**
 - Polished Stainless steel sheet finish composite cladding to front faces and underside.
 - Polished stainless steel connections and details.
 - (D-1) Prefinished, silver color, Exterior Metal Door.**
 - (D-2) Prefinished, silver color, Insulated Exterior Metal Sectional Door.**
 - (H-1) Structural Glass Guardrail with S.S. Handrail. Note: at roof level this is 6' high from FFL.**

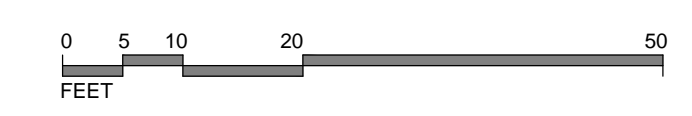
- BYLAW AND MPS STANDARDS REFERENCED:
- MAP 1: D11 DOWNTOWN HALIFAX ZONE
 - MAP 2: LOWER CENTRAL DOWNTOWN PRECINCT
 - MAP 4: MAXIMUM PRE-BONUS HEIGHT= 49m (160.76')
 - MAP 5: MAXIMUM POST-BONUS HEIGHT= RAMPART MAXIMUM
 - MAP 6: STREET WALL SETBACK= 0 TO 1.5 m (0 TO 4.92FT)
 - MAP 7: MAXIMUM STREET WALL HEIGHT= 18.5m (60.70ft)
 - MAP 8: LOCATED WITHIN THE CENTRAL BLOCKS
 - MINIMUM 3m (9.84ft) SETBACK ABOVE THE STREETWALL UP TO 33.5m (109.91ft) IN HEIGHT
 - MINIMUM 4.5m (14.76ft) SETBACK ABOVE 33.5m HEIGHT
 - MINIMUM DISTANCE BETWEEN HIGH-RISE PORTIONS OF BUILDINGS IF ONE BUILDING IS USED FOR COMMERCIAL PURPOSES=17m (55.77ft)
 - MAXIMUM TOWER SIZES=27.5m(90.22ft) WIDE x 38M (124.67ft) DEEP
 - BALCONIES MAY PROTRUDE SETBACKS, STEPBACKS AND SEPARATION DISTANCES PROVIDED IT IS WITHIN 2m (6.60ft) FROM THE BUILDING FACE AND THE AGGREGATE LENGTH DOES NOT EXCEED 50% OF THE WIDTH OF THE BUILDING FACE



1 SOUTH ELEVATION: OFFICE TOWER, SECTION THROUGH ATRIUM
1/16" = 1'-0"



1 NORTH ELEVATION: CONDOMINIUM & HOTEL TOWER AT ATRIUM
1/16" = 1'-0"



PLOTTED ON: 11/02/14 AT 03:05:01 PM
 F:\13006 DOWNTOWN HALIFAX DEVELOPMENT\02 DRAWINGS\01 SCHEMATIC DESIGN\03 CAD DRAWINGS\ELEVATIONS.dwg

Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

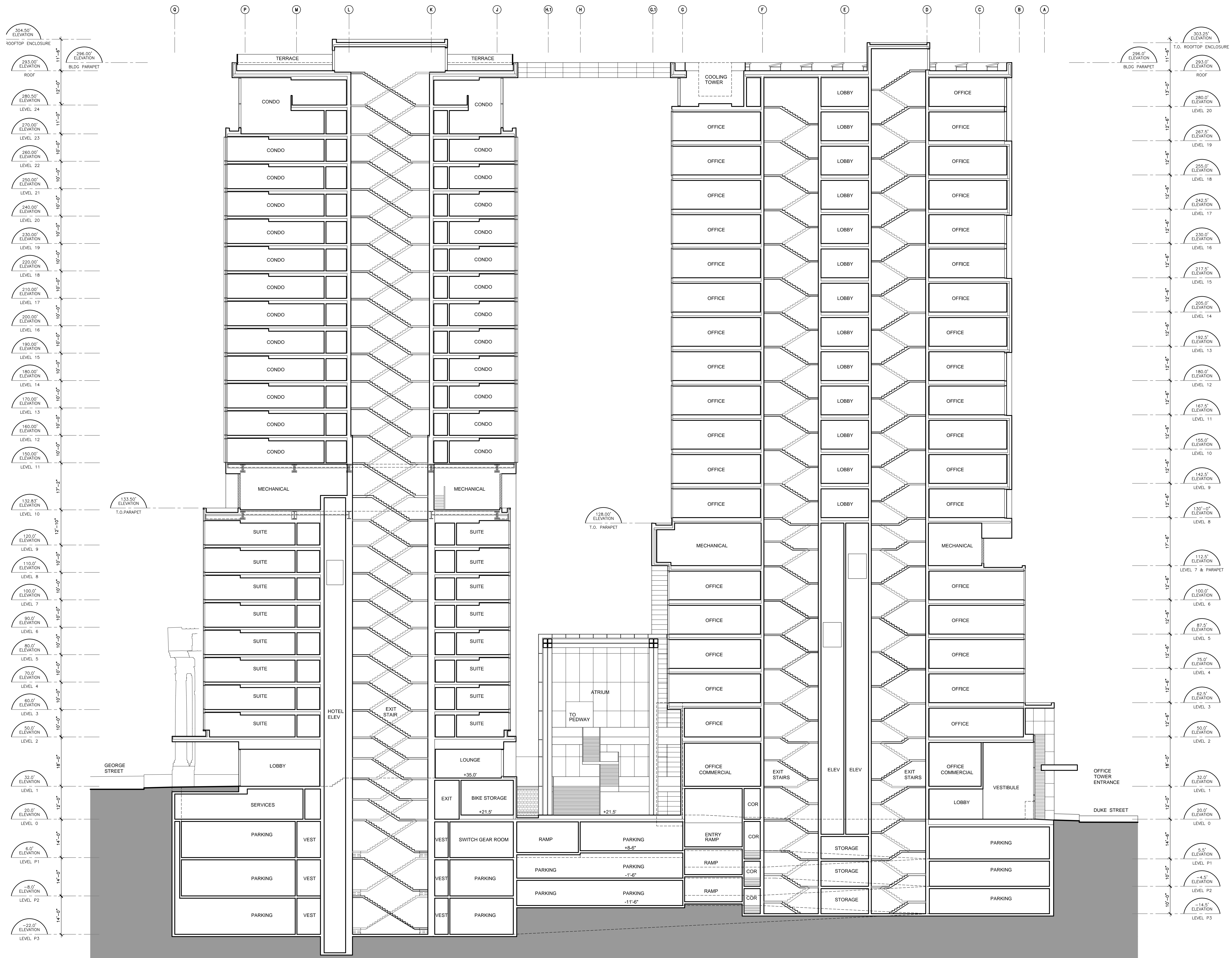
4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTATIVE SITE PLAN APPROVAL
1	2013.09.25	SITE PLAN APPROVAL PRE-APP
No	Date	Issued



BUILDING SECTION

Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA

A-300



1 NORTH SOUTH SECTION
1/16" = 1'-0"

PLOTTED ON: 11/02/14 AT 03:02:06 PM
 F:\13006 DOWNTOWN HALIFAX DEVELOPMENT\02 DRAWINGS\01 SCHEMATIC DESIGN\03 CAD DRAWINGS\SECTIONS.dwg

Client
Robin Halifax Holding Ltd.

Project
22ND COMMERCE SQUARE
HALIFAX, NOVA SCOTIA

Consultants
Lydon Lynch Architects Limited
Architecture / Interior Design
1209 Marginal Road, 3rd Floor
Halifax, Nova Scotia B3H 4P8
Tel: (902) 422-1446
Fax: (902) 422-1449

Pinto Engineering Ltd.
Structural Engineer
201-3825 Joseph Howe Drive
P.O. Box 2555 Halifax, NS
B3J 3N5
Tel: (902) 420-9800

Integral Group
Mechanical & Electrical Engineering
111 Peter Street,
Suite 800 Toronto, ON
M5V 2H1
Tel: (416) 488-4425

Watson MacEwen Teramura Architects
Historic Preservation
116 Lisgar Street,
Suite 400 Ottawa ON
K2P 0C2
Tel: (613) 232-0330

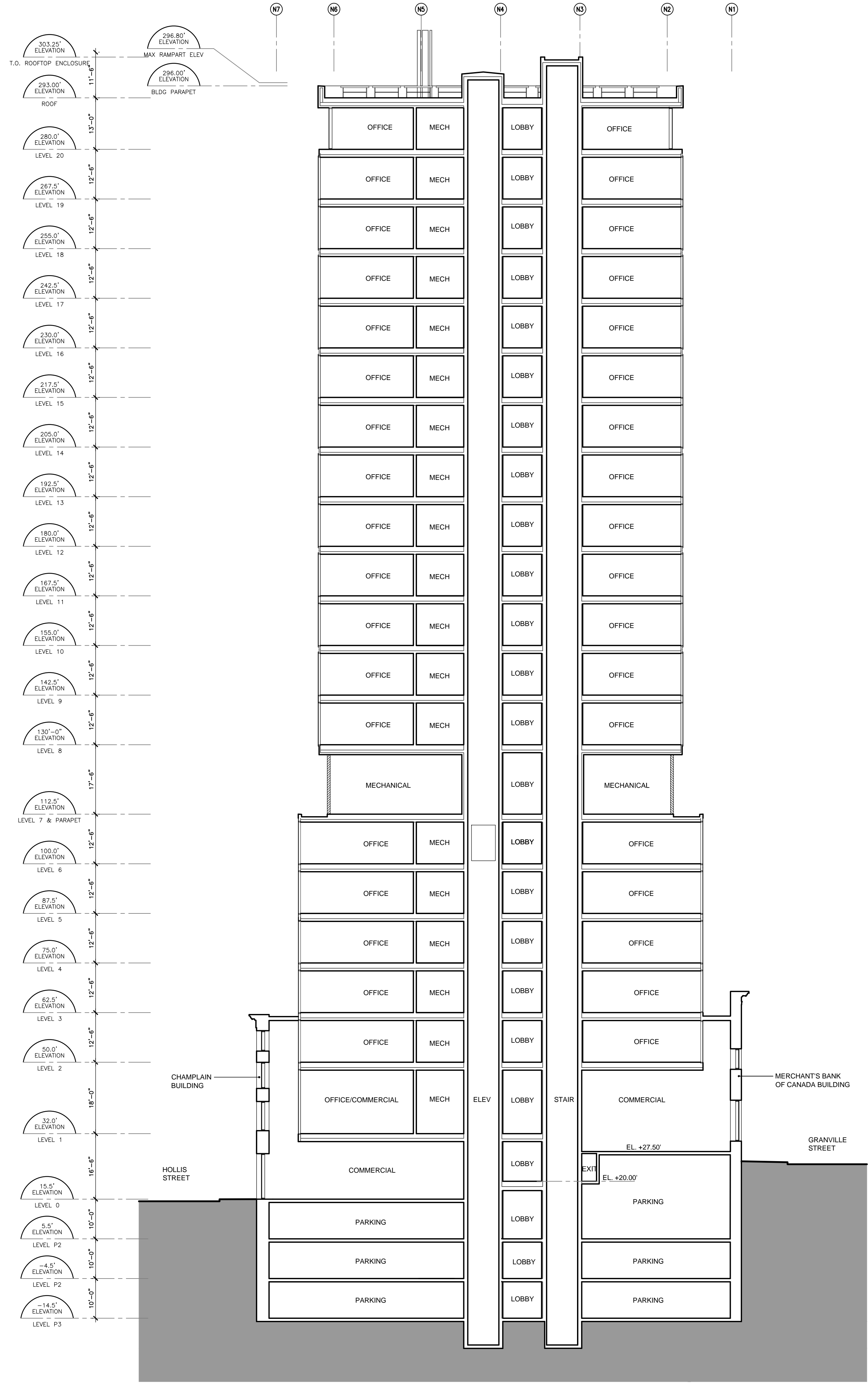
NOTES:
DO NOT SCALE THIS DRAWING FOR CONSTRUCTION PURPOSES. USE FIGURED DIMENSIONS AS NOTED.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND GENERAL CONTRACTUAL CONDITIONS.
ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED ON SITE. ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT AND AGREED UPON BEFORE PROCEEDING.
THESE DRAWINGS ARE TO BE USED FOR THIS PROJECT ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

4	2014.02.12	SUB SITE PLAN APPROVAL (REVISED)
3	2014.01.20	SUB SITE PLAN APPROVAL (REVISED)
2	2013.12.27	SUBSTATIVE SITE PLAN APPROVAL
1	2013.09.25	SITE PLAN APPROVAL PRE-APP
No	Date	Issued

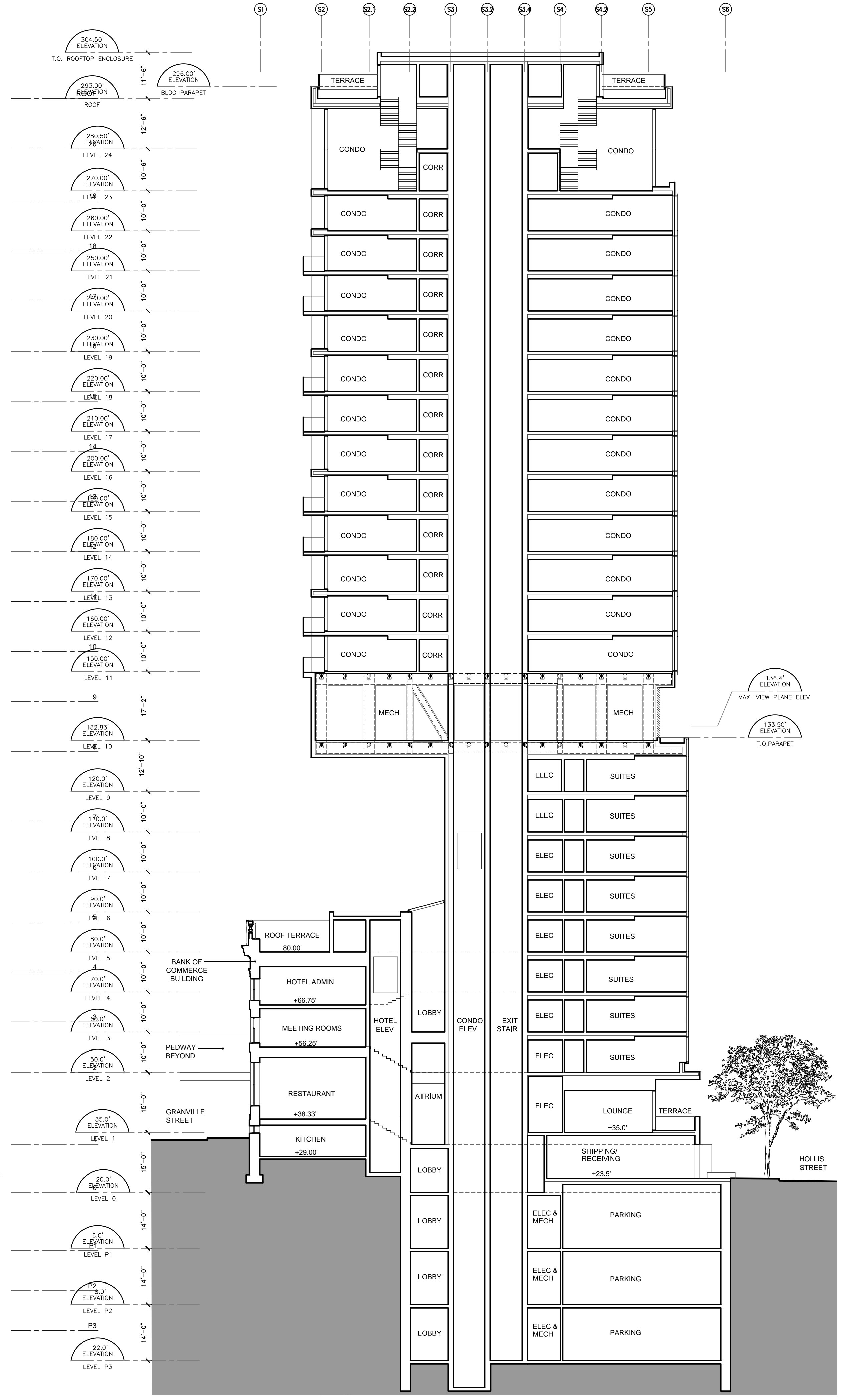


BUILDING SECTION

Drawing Scale: 1/16" = 1'-0"
Project No.: 13006
Drawn By: LLA
Checked By: LLA



1 EAST WEST SECTION - OFFICE TOWER
1/16" = 1'-0"



2 EAST WEST SECTION - CONDO TOWER
1/16" = 1'-0"

PLOTTED ON: 11/02/14 AT 03:02:31 PM
 F:\13006 DOWNTOWN HALIFAX DEVELOPMENT\02 DRAWINGS\01 SCHEMATIC DESIGN\03 CAD DRAWINGS\SECTIONS.dwg