



PO Box 1749  
Halifax, Nova Scotia  
B3J 3A5 Canada

## MEMORANDUM

TO: Chair and Members of Districts 7 and 8 Planning Advisory Committee

FROM: Miles Agar, Planner, HRM Development Approvals

DATE: September 10, 2014

**SUBJECT: Case 19293: Application by Templeton Place Ltd. to amend the existing development agreement for 5599 Fenwick Street, Halifax (Fenwick Tower Property), to allow for changes to various building elements**

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As noted in the subject description, this case will consider amending the existing development agreement for the Fenwick Tower Property to allow for changes to various building elements. The application submissions are attached to this memo (Attachments C to G).

### Location & Existing Approval

The Fenwick Tower property is located at 5599 Fenwick Street, Halifax, and includes a 33 storey multi-unit residential building with office and commercial uses on the lower floors (Maps 1 and 2). In February of 2011, Regional Council approved amendments to the Halifax Municipal Planning Strategy (MPS) and the Halifax Peninsula Land Use By-law (LUB) to allow for redevelopment of the Fenwick Tower Property by development agreement. In April 2011, the former Peninsula Community Council approved a development agreement that allows the Fenwick Tower property to be redeveloped as a single building with several new building elements, including:

- additional height and mass of Fenwick Tower;
- a 4 storey Townhouse Style Building on Fenwick Street;
- a 10 storey building on South Street (South Tower);
- an 8 storey building west of Fenwick Tower (West Tower); and
- a Commercial Mews/Pedestrian Passage connecting Fenwick Street to South Street.

The development agreement also:

- regulates the number of dwelling units in each building element and the total number of units (510);
- requires at least 50% of the residential units in each building element to contain 2 or more bedrooms; and
- requires a minimum of 420 parking spaces, all to be provided underground.

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### Development Approvals

Tel: 902.490.4495 Fax: 902.490.4406  
Email: agarm@halifax.ca halifax.ca

The MPS policy and approved development agreement for the Fenwick Tower Property are attached to this memo (Attachments A and B).

### **Proposal**

A new application has been made which proposes amendments to the development agreement previously approved in 2011. Proposed changes to the development agreement include:

- reduction in the approved height and size of Fenwick Tower;
- changes to the approved shape and roofline of Fenwick Tower;
- changes to the Fenwick Street Townhouse Style Building;
- changes to the South Tower;
- relocation of the Commercial Mews/Pedestrian Passage;
- reduction of overall residential and commercial density;
- reconfiguration of 2-bedroom units throughout the development; and
- reduction of on-site parking.

### **Planning Policy**

In considering a development agreement amendment proposal for the Fenwick Tower property, Council shall have regard for a number of policy considerations (see Attachment A of this memo). The following policy statements are specifically referenced below, as they relate directly to the proposed changes:

- a mixture of residential dwelling unit types, with a minimum of 50% of the dwelling units that are comprised of a minimum of two bedrooms and that are spread throughout the development;
- an adequate supply of vehicular and bicycle parking;
- that Fenwick Tower and its existing exterior cladding shall be replaced, along with the addition of a new penthouse;
- at the base of Fenwick Tower, along Fenwick Street, Townhouse style dwelling units;
- connecting South Street and Fenwick Street, there shall be a pedestrian passageway that is accessible to the general public and that may have one and two storey building elements along it, above the level of the parking garage rooftop, that shall have ground floor commercial uses and either second floor commercial or residential uses;
- that rooftop areas around the base of the building elements described above and the pedestrian passageway, are comprised of landscaping;
- that environmental factors, including wind conditions are suitable for in the intended use of the site; and
- that the form of the development is of a high quality and that the development and its land uses are suitable with surrounding properties.

### **Public Meeting**

A public meeting to allow for community input on the proposed changes was held by on June 26, 2014. The minutes of this meeting are included as Attachment H.

### **Input Sought from the Committee**

Pursuant to the Committee's Terms of Reference, feedback is sought from the Committee relative to the proposed changes to the existing development agreement for the Fenwick Tower property. The recommendation will be included in the staff report to Halifax and West Community Council. Specific items that the Committee may wish to address include the following:

- The distribution of 2 bedroom units throughout the development;

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## **Development Approvals**

- The type of townhouse units proposed on Fenwick Street;
- The relocation of the pedestrian passageway; and
- The overall design of building elements, including massing and exterior materials.

### **Attachments**

Map 1: Generalized Future Land Use

Map 2: Zoning

Attachment A: MPS Policy for the Fenwick Tower Property

Attachment B: Existing Development Agreement

Attachment C: Applicant's Letter of Intent

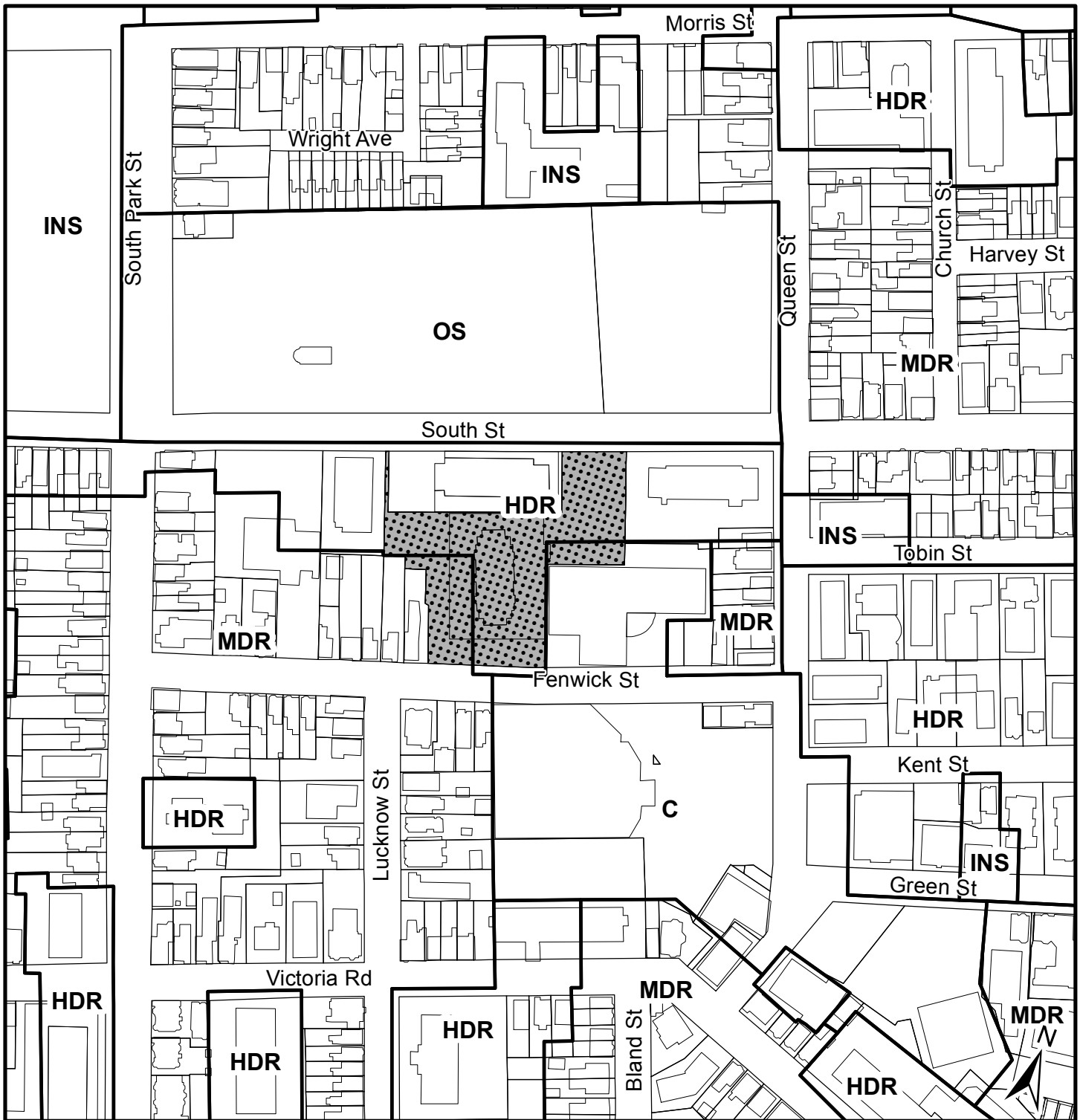
Attachment D: Design Rationale

Attachment E: Project Statistics & 3D Images

Attachment F: Proposed Building Plans

Attachment G: Wind Analysis Letter


Attachment H: Public Information Meeting Minutes (June 26, 2014)



**Map 1 - Generalized Future Land Use**

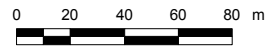
**HALIFAX**

5595 Fenwick Street  
Halifax

 Area of existing development agreement (site is subject to policies 7.7A and 7.7A.1 of the South End Area Plan)

**Designation**

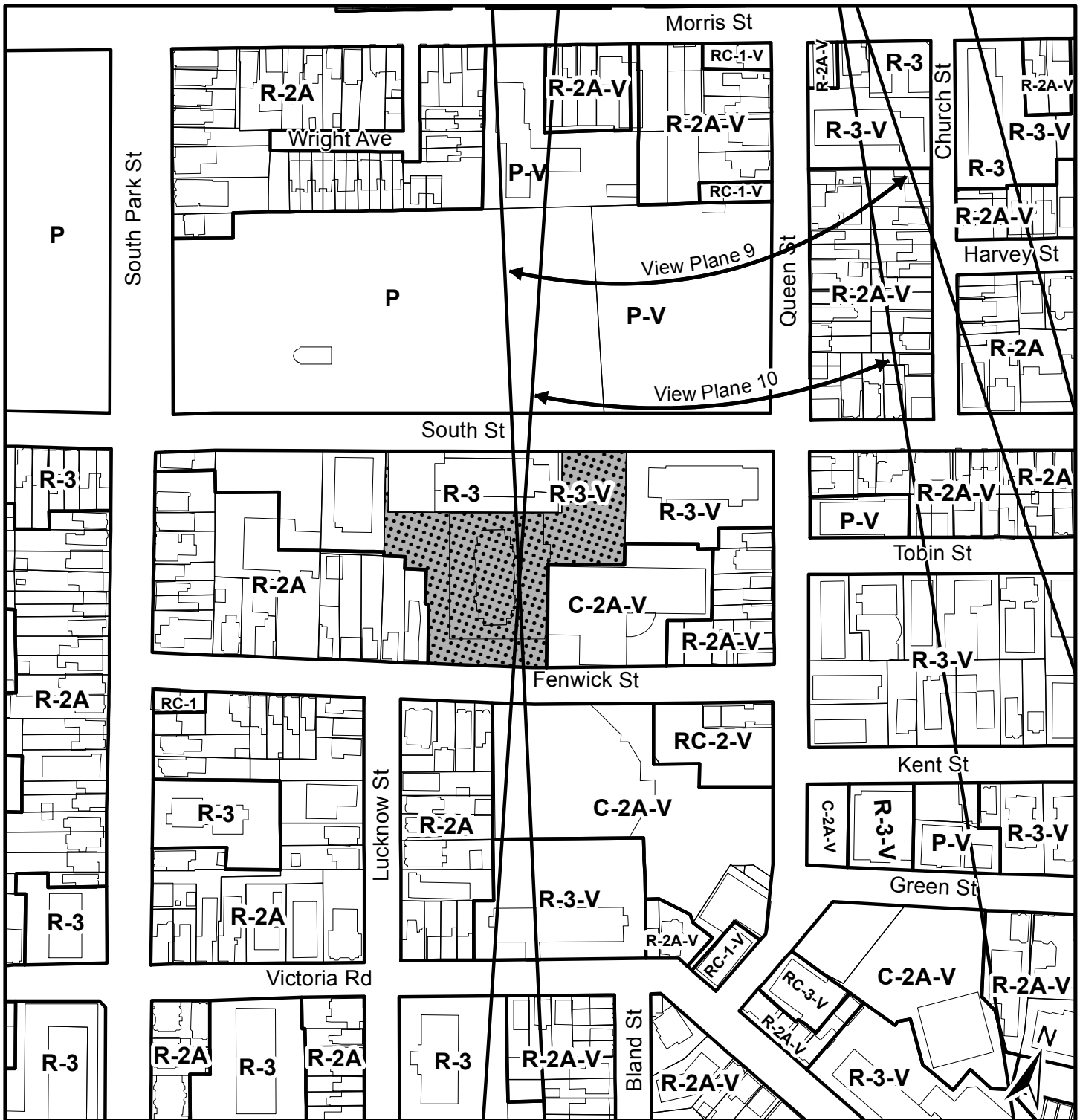
- MDR Medium Density Residential
- HDR High Density Residential
- RC Residential Commercial Mix
- C Commercial
- OS Open Space
- INS Institutional



This map is an unofficial reproduction of a portion of the Generalized Future Land Use Map for the plan area indicated.


The accuracy of any representation on this plan is not guaranteed.

Halifax Plan Area  
South End Plan Area



**Map 2 - Zoning**

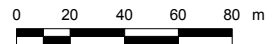
5595 Fenwick Street  
Halifax

 Area of existing development agreement

Halifax Peninsula  
Land Use By-Law Area

**Zone (-V within view plane)**

- R-2A General Residential Conversion
- R-3 Multiple Dwelling
- RC-1 Neighbourhood Commercial
- RC-2 Residential Minor Commercial
- C-2A Minor Commercial
- P Park and Institutional
- U-2 High-Density University



This map is an unofficial reproduction of a portion of the Zoning Map for the plan area indicated.

The accuracy of any representation on this plan is not guaranteed.

**7.7A** Notwithstanding the High Density Residential designation applied to PID 41030735, the Fenwick Tower lands, and other policies of this Municipal Planning Strategy, Council may consider a redevelopment proposal for the entirety of these lands by development agreement.

**7.7A.1** In considering a development agreement proposal pursuant to policy 7.7A, Council shall have regard for the following:

- a) that a proposal is a comprehensive plan for the development of the lands in their entirety and includes construction phasing;
- b) that the development conforms with the Citadel Rampart and View Plane requirements;
- c) that the development is comprised of a mixture of residential dwelling unit types, with a minimum of 50% of the dwelling units that are comprised of a minimum of two bedrooms and that are spread throughout the development, and commercial uses that are compatible with residential uses;
- d) that there is an adequate supply of vehicular and bicycle parking;
- e) that vehicular parking is exclusively provided within an interior parking garage that has access from both South Street and Fenwick Street;
- f) that the proposal is a single building with an underground parking garage, above which the form and land use of individual building elements is consistent with the following:
  - i. the existing Fenwick Tower may be enlarged towards Fenwick Street and its existing exterior cladding shall be replaced, along with the addition of a new penthouse;
  - ii. Fenwick Tower shall contain commercial uses within its first three levels, residential uses throughout the remainder of the building element, with an option for commercial uses upon top level of the building;
  - iii. at the base of Fenwick Tower, along Fenwick Street, there shall be Townhouse style dwelling units with an option for at grade commercial uses;
  - iv. to the north-west of Fenwick Tower, there may be a building element that is a maximum of 8 storeys and a maximum of 85 feet above the level of the parking garage rooftop, that shall be comprised of ground floor commercial uses and either residential dwelling units or office uses;
  - v. upon South Street, there may be a building element that is a maximum of 10 storeys from South Street and in conformity with the Citadel View Plane requirements, that shall be comprised of ground floor commercial uses and upper storey residential uses;
  - vi. connecting South Street and Fenwick Street, there shall be a pedestrian passageway that is accessible to the general public and that may have one and two storey building elements along

**it, above the level of the parking garage rooftop, that shall have ground floor commercial uses and either second floor commercial or residential uses;**

- g) that rooftop areas around the base of the building elements described above and the pedestrian passageway, are comprised of landscaping;**
- h) that mechanical equipment and other utilitarian features are concealed;**
- i) that environmental factors, including sun/shadow and wind conditions are suitable for in the intended use of the site; and**
- j) that the form of the development is of a high quality and that the development and its land uses are suitable with surrounding properties.**

**(RC-Feb 1/11;E-Mar 26/11)**

Case 19293 PAC Memo Attachment B - Existing Development Agreement

FORM 24

Purpose: To change the registered interest, benefits or burdens

84

(Instrument code: 450)

If change(s) requested relate(s) to one or more of the following and no other interest are being added or removed on this form: manner of tenure, description of manner of tenure, non-resident status, parcel access or NSF/LB occupant. Note: This form cannot be used to correct an error in a parcel register).

(Instrument code: 451)

Change to existing servient or dominant tenement PID number in a parcel register as a result of subdivision or consolidation. Note: This form cannot be used to cofalse rrect an error in a parcel register)

Registration District: Halifax
Submitter's User Number: 2400
Submitter's Name: Lena M. Diab/Noseworthy Di Costanzo Diab

For Office Use

IN THE MATTER OF Parcel Identification Number (PID)

Table with 2 columns: PID, 41030735

HALIFAX COUNTY LAND REGISTRATION OFFICE
I certify that this document was registered or recorded as shown here.
Kim Mackay, Registrar

99010796 Document #
AUG 29 2011 LR [checked] ROD [ ]
MM DD YYYY Time

The following additional forms are being submitted simultaneously with this form and relate to the attached document:

- Form 24(s)
Form 8A(s)

Additional information:

- This Form 24 creates or is part of a subdivision or consolidation
This Form 24 is a municipal or provincial street or road transfer
This Form 24 is adding a corresponding benefit or burden as a result of an AFR of another parcel.
This Form 24 is adding a benefit or burden where the corresponding benefit/burden in the "flip=side" parcel is already identified in the LR parcel register and no further forms are required.
The attached document is signed by attorney for a person under a power of attorney, and the power of attorney is:
Recorded in the attorney roll,
Recorded in the parcel register
Incorporated in the document.

OR

No power of attorney applies to this document

This form is submitted to make the changes to the registered interests, or benefits or burdens, and other related information, in the above-noted parcel register(s), as set out below:

The registered interests and related information are to be changed as follows:



<b>Instrument type:</b>	N/A
<b>Interest holder and type to be removed (if applicable)</b>	N/A
<b>Interest holder and type to be added (if applicable)</b>	N/A
<b>Mailing address of interest holder to be added</b>	N/A
<b>Manner of tenure to be removed</b>	N/A
<b>Manner of tenure to be added</b>	N/A
<b>Description of mixture of tenants in common and joint tenancy (if applicable)</b>	N/A
<b>Access type to be removed</b>	N/A
<b>Access type to be added</b>	N/A
<b>Percentage or share of interest held (for use with tenant in common interests)</b>	N/A
<b>Non-resident (to qualified solicitor's information and belief) (Yes/No?)</b>	N/A
<b>Reference to related instrument in parcel register (if applicable)</b>	N/A
<b>Reason for removal of interest (for use only when interest is being removed by operation of law) Instrument Code 443</b>	N/A

The following tenant in common interests that appear in the section of the parcel register(s) labelled "Tenants in Common not registered pursuant to the *Land Registration Act*" are to be removed because the interests are being registered (*insert names to be removed*):

I have searched the judgment roll with respect to the revision of the registered interest and have determined that it is appropriate to add the following judgment(s) or judgment-related documents to the parcel register, in accordance with the *Land Registration Act* and *Land Registration Administration Regulations*:

<b>Instrument Type:</b>	N/A
<b>Interest Holder Name/Type to be added:</b>	N/A
<b>Interest Holder Mailing Address</b>	N/A
<b>Judgment Roll Reference</b>	N/A

The following benefits are to be added and/or removed in the parcel register:

<b>Instrument type</b>	N/A
<b>Interest holder and type to be removed (if applicable)</b>	N/A
<b>Interest holder and type to be added (if applicable) Note: include qualifier (e.g. estate of, executor, trustee, personal representative, if applicable)</b>	N/A
<b>Mailing address of interest holder to be added (if applicable)</b>	N/A
<b>Servient tenement parcel(s) (list all affected PIDs):</b>	N/A
<b>Reference to related instrument in names-based roll/parcel register (if applicable)</b>	N/A
<b>Reason for removal of interest (for use only when interest is being removed by operation of law) Instrument code: 443</b>	N/A

The following burdens are to be added and/or removed in the parcel register:

<b>Instrument type</b>	Agreement re Use of Land (Development Agreement)
<b>Interest holder and type to be removed (if applicable)</b>	N/A

Interest holder and type to be added (if applicable) Note: include qualifier (e.g. estate of, executor, trustee, personal representative, if applicable)	Halifax Regional Municipality - Party to Agreement (Burden)
Mailing address of interest holder to be added (if applicable)	PO Box 1749 Halifax NS B3J 3A5
Reference to related instrument in names-based roll/parcel register (if applicable)	N/A
Reason for removal of interest (for use only when interest is being removed by operation of law) Instrument Code 443	N/A

The following recorded interests are to be added and/or removed in the parcel register:

Instrument type	N/A
Interest holder and type to be removed (if applicable)	N/A
Interest holder and type to be added (if applicable) Note: include qualifier (e.g. estate of, executor, trustee, personal representative, if applicable)	N/A
Mailing address of interest holder to be added (if applicable)	N/A
Reference to related instrument in names-based roll/parcel register (if applicable)	N/A
Reason for removal of interest (for use only when interest is being removed by operation of law) Instrument code: 443	N/A

The textual qualifications are to be changed as follows:

Textual qualification on title to be removed (insert any existing textual description being changed, added to or altered in any way)	N/A
Textual qualification on title to be added (insert replacement textual qualification)	N/A
Reason for change to textual qualification (for use only when no document is attached) Instrument type: 838	N/A

The following information about the occupier of the parcel, which is owned by the Nova Scotia Farm Loan Board, is to be change:

Name and mailing address of occupier to be removed	N/A
Name and mailing address of occupier to be added	N/A

#### CERTIFICATE OF LEGAL EFFECT:

I certify that, in my professional opinion, it is appropriate to make the changes to the parcel register(s) as instructed on this form.

DATED AT at Halifax, in the County of Halifax, Province of Nova Scotia on the 23 day of August, 2011.

Original signed 5

Signature of Authorized Lawyer

Lena M. Diab

6470 Chebucto Road  
Halifax, NS B3L 1L4

e-mail: [ldiab@eastlink.ca](mailto:ldiab@eastlink.ca)

Phone: 902-444-4747

Fax: 902-444-4301

- This document also affects non-land registration parcels. The original will be registered under the *Registry Act* and a certified true copy for recording under the *Land Registration Act* is attached.

THIS AGREEMENT made this 23 day of June, 2011,  
BETWEEN: 2014 July

**TEMPLETON PLACE LIMITED**

a body corporate, in the Province of Nova Scotia  
(hereinafter called the "Developer")

OF THE FIRST PART

- and -

APPROVED  
AS TO FORM

Municipal Solicitor

**HALIFAX REGIONAL MUNICIPALITY**

a municipal body corporate, in the Province of Nova Scotia  
(hereinafter called the "Municipality")

OF THE SECOND PART

WHEREAS the Developer is the registered owner of certain lands located at 5599 Fenwick Street and which said lands are more particularly described in Schedule A hereto (hereinafter called the "Lands");

AND WHEREAS the Developer has requested that the Municipality enter into a Development Agreement to allow for a redevelopment that includes new commercial and residential uses on the Lands pursuant to the provisions of the *Halifax Regional Municipality Charter* and Policies 7.7A and 7.7A.1 of Section 7, *District Policies of the South End Area Plan* of the Halifax Municipal Planning Strategy and *Development Agreement Provisions, South End*, Clause 94(1)(s) of the Halifax Peninsula Land Use By-law (Land Use By-law);

AND WHEREAS the Peninsula Community Council for the Municipality approved this request at a meeting held on April 11, 2011, referenced as Municipal Case Number 15937;

THEREFORE, in consideration of the benefits accrued to each party from the covenants herein contained, the Parties agree as follows:

## **PART 1: GENERAL REQUIREMENTS AND ADMINISTRATION**

### **1.1 Applicability of Agreement**

- 1.1.1 The Developer agrees that the Lands shall be developed and used only in accordance with and subject to the terms and conditions of this Agreement.

### **1.2 Applicability of Land Use By-law and Subdivision By-law**

- 1.2.1 Except as otherwise provided for herein, the development, use, and subdivision of the Lands shall comply with the requirements of the Halifax Peninsula Land Use By-law and the Regional Subdivision By-law, as may be amended from time to time.

### **1.3 Applicability of Other By-laws, Statutes and Regulations**

- 1.3.1 Further to Section 1.2, nothing in this Agreement shall exempt or be taken to exempt the Developer, lot owner or any other person from complying with the requirements of any by-law of the Municipality applicable to the Lands (other than the Land Use By-law to the extent varied by this Agreement), or any statute or regulation of the Provincial/Federal Government and the Developer or Lot Owner agree(s) to observe and comply with all such laws, by-laws and regulations, as may be amended from time to time, in connection with the development and use of the Lands.
- 1.3.2 The Developer shall be responsible for securing all applicable approvals associated with the on-site and off-site servicing systems required to accommodate the development, including but not limited to sanitary sewer system, water supply system, stormwater sewer and drainage system, and utilities. Such approvals shall be obtained in accordance with all applicable by-laws, standards, policies, and regulations of the Municipality and other approval agencies. All costs associated with the supply and installation of all servicing systems and utilities shall be the responsibility of the Developer. All design drawings and information shall be certified by a Professional Engineer or appropriate professional as required by this Agreement or other approval agencies.

## **1.4 Conflict**

- 1.4.1 Where the provisions of this Agreement conflict with those of any by-law of the Municipality applicable to the Lands (other than the Land Use By-law to the extent varied by this Agreement) or any provincial or federal statute or regulation, the higher or more stringent requirements shall prevail.
- 1.4.2 Where the written text of this Agreement conflicts with information provided in the Schedules attached to this Agreement, the written text of this Agreement shall prevail.

## **1.5 Costs, Expenses, Liabilities and Obligations**

- 1.5.1 The Developer shall be responsible for all costs, expenses, liabilities and obligations imposed under or incurred in order to satisfy the terms of this Agreement and all Federal, Provincial and Municipal laws, by-laws, regulations and codes applicable to the Lands.

## **1.6 Provisions Severable**

- 1.6.1 The provisions of this Agreement are severable from one another and the invalidity or unenforceability of one provision shall not affect the validity or enforceability of any other provision.

## **PART 2: DEFINITIONS**

### **2.1 Words Not Defined under this Agreement**

- 2.1.1 All words unless otherwise specifically defined herein shall be as defined in the applicable Land Use By-law and Subdivision By-law, if not defined in these documents their customary meaning shall apply.

### **2.2 Definitions Specific to this Agreement**

- 2.1.2 The following words used in this Agreement shall be defined as follows:
- (a) "Building" means the building that is the subject of this Agreement, in its entirety, of which there are several building elements.
  - (b) "Building element" means West Tower, Fenwick Street Townhouses, South Street Tower, Mews West, Mews East, or Fenwick Tower, as identified on the Schedules.

- (c) "Community meeting areas" means interior floor areas that are used as amenity space for residents of the development or assembly for the general public.
- (d) "Development" means the development that is enabled by this Agreement.
- (e) "Information sign" means a sign that provides information, including a sign guiding vehicular or pedestrian traffic or a sign identifying the name of a building element, that is generally for safety or directional purposes.
- (f) "Pedestrian Passageway" means the walkway that extends between South Street and Fenwick Street and between the building elements and through the northern end of Fenwick Tower, as shown on the Schedules.
- (g) "Phase" means a construction phase specified in Schedule A-49.
- (h) "Public parking" means parking that is available to the general public.
- (i) "Landscape Architect" means a professional, full member in good standing with the Canadian Society of Landscape Architects.
- (j) "Landscaped Open Space" means the areas identified on the Schedules, including the Pedestrian Passageway.
- (k) "Months from the initial permit for construction" means the number of months from the first building permit for the construction of the development, in whole or in part.
- (l) "Personal service use" means a business that is associated with the grooming or health of persons or the maintenance or repair of personal wardrobe articles and accessories, and may include a hair salon, beauty parlor, tailor, self service laundry, or depots for collecting dry cleaning and laundry.

## PART 3: USE OF LANDS, SUBDIVISION AND DEVELOPMENT PROVISIONS

### 3.1 Schedules

3.1.1 The Developer shall develop the Lands in a manner, which, in the opinion of the Development Officer, conforms with the following Schedules attached to this Agreement and filed in the Halifax Regional Municipality as Case Number 15937:

Schedule A, Legal Description of the Lands

Schedule B, Plans

Drawing A-1	Site Plan
A-2	Building Elements
A-3	South Elevation
A-4	West Elevation
A-5	North Elevation
A-6	East Elevation
A-7	Parkade Level 1 - Fenwick Tower
A-8	Parkade Level 2 - Fenwick Tower Parkade Level 1 - South St. Tower/West Tower
A-9	Parkade Level 3 - Fenwick Tower Parkade Level 2 - South St. Tower/West Tower
A-10	Level 1 - Fenwick Tower Parkade Level 3 - South St Tower/West Tower
A-11	Level 1 - Fenwick Townhouses
A-12	Level 2 - Fenwick Tower Level 1 - West Tower/Mews Buildings Level 1A - South Street Tower Level 2 - Fenwick Townhouses
A-13	Level 3 - Fenwick Tower Level 2 - West Tower/Mews Level 1B - South St. Tower Level 3 - Fenwick Townhouses
A-14	Level 4 - Fenwick Tower Level 3 - West Tower Level 2 - South St. Tower Level 4 - Fenwick Townhouses
A-15	Level 5 - Fenwick Tower Level 4 - West Tower Level 3 - South St Tower
A-16	Level 6 - Fenwick Tower Level 5 - West Tower

	Level 4 - South St Tower
A-17	Level 7 - Fenwick Tower
	Level 6 - West Tower
	Level 5 - South St Tower
A-18	Level 8 - Fenwick Tower
	Level 7 - West Tower
	Level 6 - South Street Tower
A-19	Level 9 - Fenwick Tower
	Level 8 - West Tower
	Level 7 - South St Tower
A-20	Level 10 - Fenwick Tower
	Level 8 - South St Tower
A-21	Level 11 - Fenwick Tower
	Level 9 - South Street Tower
A-22	Level 12 - Fenwick Tower
	Level 10 - South St Tower
A-23	Level 13-15 - Fenwick Tower
A-24	Level 16 - Fenwick Tower
A-25	Level 17-22 - Fenwick Tower
A-26	Level 23-29 - Fenwick Tower
A-27	Level 30 - Fenwick Tower
A-28	Level 31 - Fenwick Tower
A-29	Level 32 - Fenwick Tower
A-30	Level 33 - Fenwick Tower
A-31	Building Elevations - Heights
	Fenwick Townhouses
	Fenwick Tower
A-32	Building Elevations - Heights
	West Tower
	West Mews
	Fenwick Tower
	South St Tower
A-33	Building Elevations - Heights
	West Tower
A-34	Building Elevations - Heights
	West Mews - West Elevation
A-35	Building Elevations - Heights
	West Mews - East Elevation
A-36	Building Elevations - Heights
	South St Tower
	West Tower
	East Mews



A-37	Building Elevations - Heights South Street Tower
A-38	Building Elevations - Heights West Mews Fenwick Tower Base
A-39	Building Elevations - Heights South St Tower (West Elevation)
A-40	Detailed Pedestrian Level Elevations - Materials West Mews (East Elevation)
A-41	Detailed Pedestrian Level Elevations - Materials West Elevations - Fenwick Tower & Fenwick Townhouses
A-42	Detailed Pedestrian Level Elevations - Materials South Tower - West Elevation
A-43	Detailed Pedestrian Level Elevations - Materials East Mews - East Elevation
A-44	Detailed Pedestrian Level Elevations - Materials South Tower - North Elevation
A-45	Detailed Pedestrian Level Elevations - Materials Fenwick Street Townhouses
A-46	Project Lighting Description
A-47.1	Landscape Plan Pedestrian Mews
A-47.2	Landscape Plan Roof Top Terraces
A-48.1	Landscape Plan Planting Key
A-48.2	Landscape Planting Key (cont'd)
A-49	Phasing Plan

### Schedule C, Wind Testing Methodology and Criteria

#### 3.2 Requirements Prior to Approval

3.2.1 Prior to the issuance of the first Construction Permit, the Developer shall submit a wind tunnel test report, pursuant to Section 3.13.

3.2.2 Prior to the issuance of a Construction Permit for each phase, the Developer shall provide the following to the Development Officer:

- (a) where a phase is impacted by the View Plane or Rampart requirements of the Land Use By-law, confirmation from a Nova Scotia Land Surveyor that the planned construction, or part thereof, meets said requirements; and

(b) landscape plans, pursuant to Section 3.11.

3.2.3 Prior to the issuance of a municipal Occupancy Permit for a building element in each construction phase, the Developer shall provide the following to the Development Officer:

- (a) where a construction phase is impacted by the View Plane or Rampart requirements of the Land Use By-law, confirmation from a Nova Scotia Land Surveyor that the completed construction meets said requirements; and
- (b) confirmation of the completion of landscape open spaces, pursuant to Section 3.11.

3.2.4 Notwithstanding any other provision of this Agreement, the Developer shall not occupy or use the Lands for any of the uses permitted by this Agreement unless an Occupancy Permit has been issued by the Municipality. No Occupancy Permit shall be issued by the Municipality unless and until the Developer has complied with all applicable provisions of this Agreement and the Land Use By-law (except to the extent that the provisions of the Land Use By-law are varied by this Agreement) and with the terms and conditions of all permits, licenses, and approvals required to be obtained by the Developer pursuant to this Agreement.

### **3.4 Land Use**

3.4.1 The following land uses shall be permitted:

- (a) commercial uses, as follows:
  - (i) banks;
  - (ii) commercial recreation uses;
  - (iii) daycares;
  - (iv) offices;
  - (v) personal service uses;
  - (vi) restaurants;
  - (vii) schools; and
  - (viii) stores for retail trade;
- (b) community meeting areas;
- (c) public parking;
- (d) residential uses; and
- (e) accessory uses to the foregoing.

3.4.2 For greater certainty, in no case shall adult entertainment uses be permitted.

### 3.5 Land Use Requirements

3.5.1 Unless otherwise provided for in the text of this Agreement, the location of land uses shall be as shown on the Schedules.

3.5.2 Floor areas identified on the Schedules as commercial floor areas shall be used for commercial uses, except that the second level of the Mews Building Elements may be used for residential uses provided that they are comprised of a minimum of two bedrooms per dwelling unit. Such residential development shall be counted as part of the total number of dwelling units pursuant to clause 3.5.5.

3.5.3 Changes in the interior arrangement of commercial floor areas shall be permitted provided that there continues to be direct access to the Pedestrian Passageway and Fenwick Street, as shown on the Schedules.

3.5.4 Floor areas identified on the Schedules as residential floor areas shall be used for residential uses, except as otherwise specified.

3.5.5 The maximum number and distribution of residential dwelling units shall be as follows:

Dwelling Units	Building Element				
	Fenwick Tower	West Tower	South Street Tower	Townhouses	Total
Maximum number of dwelling units in each building element	379	38	87	6	510

3.5.6 Pursuant to 3.5.5 and the Schedules, changes to the interior layout of residential floor areas and the number of dwelling units within each building element may be altered provided that:

- (a) there is a maximum of 510 dwelling units for the entire development; and
- (b) a minimum of 50% of the dwelling units in each of the building elements contain 2 or more bedrooms.

3.5.7 Further to 3.5.4:

- (a) in the West Tower, residential floor areas may be used for office uses and in such instances, there shall be a corresponding decrease in the maximum number of permitted dwelling units; and
- (b) the Penthouse shown on Schedule A-30 may be used for commercial uses.

**3.6 Phasing**

3.6.1 Construction shall proceed in phases, pursuant to Schedule B, Drawing A-49, *Project Phasing Plan Schedule*, and all construction within each construction phase shall be complete by the dates below:

Phase	Months from the Initial Permit for Construction
1	36
2	48
3	60
4	72

3.6.2 Construction of individual phases may occur simultaneously, but an Occupancy Permit shall not be issued upon any development within a phase until the construction of all preceding phases is complete.

3.6.3 Clause 3.6.2 shall not apply to residential occupancies within Fenwick Tower, which may be occupied during construction of the development.

**3.7 Architectural Requirements**

3.7.1 All vents, down spouts, flashing, electrical conduits, metres, service connections, and other functional elements shall be treated as integral parts of the design. Where appropriate these elements shall be painted to match the colour of the adjacent surface, except where used expressly as an accent.

3.7.2 Mechanical systems (HVAC, exhaust fans, etc.), telecommunication equipment, propane tanks, or other utilitarian features, but excluding mechanical systems associated with individual dwelling units, shall be visually screened from:

- (a) Fenwick Street;
- (b) South Street,
- (c) abutting residential properties; and

(d) any landscaped open space, including the Pedestrian Passageway.

3.7.3 In addition to 3.7.2, all roof mounted mechanical systems and telecommunication equipment shall be visually integrated into the roof design of each of the Building Elements.

3.7.4 Noise reduction measures shall be implemented for any of the mechanical utilitarian features referred to in this Section.

### **3.8 Subdivision of the Lands**

3.8.1 No subdivision of the lands shall be permitted.

### **3.9 Parking, Circulation, and Access**

3.9.1 There shall be a minimum of 420 vehicular parking spaces for the whole of the development.

3.9.2 Bicycle parking shall be provided for in conformance with the requirements of the Land Use By-law.

3.9.3 Parking associated with each building element shall be complete prior to the issuance of an Occupancy Permit for said building element.

3.9.4 Parking shall be subject to the following:

(a) The minimum size of a parking stall shall be 8 feet in width and 16 feet in length; and

(b) The minimum width of driveways, except between pillars, shall be 20 feet.

3.9.5 The interior arrangement of the parking spaces and driveways shown on the Schedules may be modified provided that the requirements of this Section are met and that there are no changes to the location and function of parking garage entrances/exits.

3.9.6 Upon completion of the landscaping for Phase 3, the Developer agrees to allow the general public to access the pedestrian passageway, as identified on the Schedules, and to use it as a means of travel between South Street and Fenwick Street.

3.9.7 Further to 3.9.6, there shall be no gates, doors, or other similar barriers that impede public access and travel within the public circulation areas.

### **3.10 Lighting**

- 3.10.1 This Agreement shall not oblige the Developer to illuminate the exterior of the building, but where illumination occurs, it shall comply with the Schedules.
- 3.10.2 The lighting pursuant to 3.10.1 shall be directed away from surrounding properties, including municipal right-of-ways, except to the extent as shown on the Schedules.
- 3.10.3 Lighting shall not include illumination that flashes, moves, or varies in intensity.

### **3.11 Landscaped Open Space and Landscaping**

- 3.11.1 All plant material shall conform to the Canadian Nursery Trades Association Metric Guide Specifications and Standards and sodded areas to the Canadian Nursery Sod Growers' Specifications.
- 3.11.2 For each construction phase, prior to the issuance of a Construction Permit, the Developer shall submit a Landscape Plan, prepared by a Landscape Architect, which complies with the provisions of this section and Schedules.
- 3.11.3 Prior to issuance of an Occupancy Permit for a building element in each construction phase, the Developer shall submit a letter prepared by a Landscape Architect, certifying that landscaped open space and landscaping for said construction phase, has been completed according to the terms of this Development Agreement.
- 3.11.4 Notwithstanding 3.11.3, an Occupancy Permit may be issued provided that the weather and time of year does not allow the completion of the outstanding landscape works and that the Developer supplies a security deposit in the amount of 110 percent of the estimated cost to complete the landscaping. The cost estimate is to be prepared by a Landscape Architect. The security shall be in favour of the Municipality and shall be in the form of a certified cheque or automatically renewing, irrevocable letter of credit issued by a chartered bank. The security shall be returned to the Developer only upon completion of the work as described herein and illustrated on the Schedules, and as approved by the Development Officer. Should the Developer not complete the landscaping within twelve months of issuance of the Occupancy Permit, the Municipality may use the deposit to complete the landscaping as set out in this section of the Agreement. The Developer shall

be responsible for all costs in this regard exceeding the deposit. The security deposit or unused portion of the security deposit shall be returned to the Developer upon completion of the work and its certification.

### **3.12 Crime Prevention through Environmental Design**

- 3.12.1 Prior to the submission of a development permit application for the construction of each construction phase, the Developer agrees to request that HRM undertake a review of the plans for said construction phase from a Crime Prevention Through Environmental Design perspective.
- 3.12.2 Further to 3.12.1, recommendations from HRM that result in changes to the design of the development may be permitted provided that such changes, in the opinion of the Developer Officer, do not materially alter the appearance of the Development as shown on the Schedules.

### **3.13 Wind**

- 3.13.1 The developer agrees to undertake wind tunnel testing pursuant to the methodology identified in the Initial Wind Testing Assessment (Schedule C) for the entirety of the development, and submit a report to the Development Officer.
- 3.13.2 As a condition of the issuance of a development permit for first Construction Permit for the development, the report pursuant to 3.13.1 shall confirm that the expected levels of comfort identified in the Initial Wind Testing Assessment (Schedule C) shall be achieved for the entirety of the development; otherwise issuance of a development permit shall be refused.
- 3.13.3 Where required by the report pursuant to 3.13.1, wind mitigation measures, including the modification of the building, the installation of canopies, screens, and landscaping that, in the opinion of the Developer Officer, do not materially alter the appearance of the Development as shown on the Schedules, shall be permitted.

### **3.14 Signs**

- 3.14.1 Signs, excepting information signs, shall be related to a commercial business located upon the lands.
- 3.14.2 Each business shall be permitted to install the following signs upon every exterior wall of their premise that faces the Pedestrian Passageway or Fenwick Street:

- (a) one facial sign, having a maximum height of 2 feet, located immediately above storefront windows and entrances;
- (b) one projecting sign, subject to said sign being:
  - (i) a maximum of 6 square feet in size; and
  - (ii) a minimum height of 8 feet from the bottom of the sign to ground below; and
- (c) signs upon or immediately behind storefront windows, provided they occupy a maximum of 30 percent of that window's area.

3.14.3 Signs shall not include any animation or illumination that flashes, moves, or varies in intensity.

3.14.4 Information signs are permitted on all parts of the building.

### **3.15 Temporary Construction Buildings**

3.15.1 Temporary construction buildings shall be permitted on the Lands for the purpose of housing equipment, materials and office related matters relating to the construction and sale of the development in accordance with this Agreement. The construction building shall be removed from the Lands prior to the issuance of the last Occupancy Permit.

### **3.16 Hours of Operation**

3.16.1 Restaurants shall be permitted to operate between the hours of 6:00 a.m. and 1:00 a.m.

3.16.2 Deliveries to the building, and the collection of refuse and recyclables, shall occur between the hours of 7:00 a.m. and 10:00 p.m.

3.16.3 Hours of operation not defined in this Section shall conform with all relevant Municipal and Provincial legislation and regulations, as may be amended from time to time.

### **3.17 Maintenance**

3.17.1 The Developer shall maintain and keep in good repair all portions of the development on the Lands, including but not limited to, the exterior of the building, fencing, walkways, recreational amenities, parking areas and driveways, and the maintenance of all landscaping including the replacement



of damaged or dead plant stock, trimming and litter control, garbage removal and snow and ice control, salting of walkways and driveways.

## **PART 4: STREETS AND MUNICIPAL SERVICES**

### **4.1 General Provisions**

4.1.1 All design and construction of primary and secondary service systems shall satisfy Municipal Service Systems Specifications unless otherwise provided for in this Agreement and shall receive written approval from the Development Engineer prior to undertaking the work.

### **4.2 Off-Site Disturbance**

4.2.1 Any disturbance to existing off-site infrastructure resulting from the development, including but not limited to, streets, sidewalks, curbs and gutters, street trees, landscaped areas and utilities, shall be the responsibility of the Developer, and shall be reinstated, removed, replaced or relocated by the Developer as directed by the Development Officer, in consultation with the Development Engineer.

### **4.3 Underground Services**

4.3.1 All secondary and primary electrical, telephone, cable service, and other similar wires to the building shall be underground installation.

### **4.4 Solid Waste**

4.4.1 The building shall include designated space for three stream (refuse, recycling and composting) source separation services. This designated space for source separation services shall be shown on the building plans and approved by the Development Officer and Building Inspector in consultation with Solid Waste Resources.

## **PART 5: ENVIRONMENTAL PROTECTION MEASURES**

### **5.1 Storm Water**

5.1.1 All storm water systems shall be maintained in good order in order to maintain full storage capacity.

## **PART 6: AMENDMENTS**

### **6.1 Non-Substantive Amendments**

6.1.1 The following items are considered by both parties to be not substantive and may be amended by resolution of Council:

- (a) changes to the requirements of Section 3.7, *Architectural Requirements* with respect to the materials shown on the following Schedules:
  - (i) A-40;
  - (ii) A-41;
  - (iii) A-42, but limited to the ground floor facing the pedestrian passageway; and
  - (iv) A-43;
- (b) changes to the distribution of dwelling units between building elements, pursuant to clause 3.5.5;
- (c) changes to the requirements of Section 3.8, *Subdivision of the Lands*;
- (d) changes to the requirements of Section 3.11, *Landscaped Open Space and Landscaping*;
- (e) changes to the requirements of Section 3.14, *Signs*, where said requirements are for signs that face the Pedestrian Passage; and
- (f) the granting of an extension to the date of commencement of construction as identified in Section 7.3, *Commencement of Construction*.

### **6.2 Substantive Amendments**

6.1.2 Amendments to any matters not identified under Section 6.1 shall be deemed substantive and may only be amended in accordance with the approval requirements of the *Halifax Regional Municipality Charter*.

## **PART 7: REGISTRATION, EFFECT OF CONVEYANCES AND DISCHARGE**

### **7.1 Registration**

7.1.1 A copy of this Agreement and every amendment or discharge of this Agreement shall be recorded at the Registry of Deeds or Land Registry Office at Halifax, Nova Scotia and the Developer shall incur all costs in recording such documents.

## **7.2 Subsequent Owners**

- 7.2.1 This Agreement shall be binding upon the parties hereto, their heirs, successors, assigns, mortgagees, lessees and all subsequent owners, and shall run with the Lands which are the subject of this Agreement until this Agreement is discharged by Council.
- 7.2.2 Upon the transfer of title to any lot(s), the subsequent owner(s) thereof shall observe and perform the terms and conditions of this Agreement to the extent applicable to the lot(s).

## **7.3 Commencement of Development**

- 7.3.1 In the event that development on the Lands has not commenced within 3 years from the date of registration of this Agreement at the Registry of Deeds or Land Registry Office, as indicated herein, the Agreement shall have no further force or effect and henceforth the development of the Lands shall conform with the provisions of the Land Use By-law.
- 7.3.2 For the purpose of this section, commencement of development shall mean the issuance of the first Construction Permit for the development.
- 7.3.3 For the purpose of this section, Council may consider granting an extension of the commencement of development time period through a resolution under Section 6.1, if the Municipality receives a written request from the Developer at least 60 calendar days prior to the expiry of the commencement of development time period.

## **7.4 Completion of Development**

- 7.4.1 Upon the completion of the whole development or complete phases of the development, Council may review this Agreement, in whole or in part, and may:
- (a) retain the Agreement in its present form;
  - (b) negotiate a new Agreement;
  - (c) discharge this Agreement; or
  - (d) for those portions of the development which are completed, discharge this Agreement and apply appropriate zoning pursuant to the Halifax Municipal Planning Strategy and Halifax Peninsula Land Use By-law, as may be amended from time to time.

## **7.5 Discharge of Agreement**

- 7.5.1 If the Developer fails to complete the development after 9 years from the date of registration of this Agreement at the Registry of Deeds or Land Registration Office, Council may review this Agreement, in whole or in part, and may:
- (a) retain the Agreement in its present form;
  - (b) negotiate a new Agreement; or
  - (c) discharge this Agreement.

## **PART 8: ENFORCEMENT AND RIGHTS AND REMEDIES ON DEFAULT**

### **8.1 Enforcement**

- 8.1.1 The Developer agrees that any officer appointed by the Municipality to enforce this Agreement shall be granted access onto the Lands during all reasonable hours without obtaining consent of the Developer. The Developer further agrees that, upon receiving written notification from an officer of the Municipality to inspect the interior of any building located on the Lands, the Developer agrees to allow for such an inspection during any reasonable hour within 24 hours of receiving such a request.

### **8.2 Failure to Comply**

- 8.2.1 If the Developer fails to observe or perform any condition of this Agreement after the Municipality has given the Developer 30 days written notice of the failure or default, then in each such case:
- (a) the Municipality shall be entitled to apply to any court of competent jurisdiction for injunctive relief including an order prohibiting the Developer from continuing such default and the Developer hereby submits to the jurisdiction of such Court and waives any defence based upon the allegation that damages would be an adequate remedy;
  - (b) the Municipality may enter onto the Lands and perform any of the covenants contained in this Agreement or take such remedial action as is considered necessary to correct a breach of the Agreement, whereupon all reasonable expenses whether arising out of the entry onto the Lands or from the performance of the covenants or remedial action, shall be a first lien on the Lands and be shown on any tax certificate issued under the *Assessment Act*;

- (c) the Municipality may by resolution discharge this Agreement whereupon this Agreement shall have no further force or effect and henceforth the development of the Lands shall conform with the provisions of the Land Use By-law; or
- (d) in addition to the above remedies, the Municipality reserves the right to pursue any other remedy under the *Halifax Regional Municipality Charter* or Common Law in order to ensure compliance with this Agreement.

WITNESS that this Agreement, made in triplicate, was properly executed by the respective Parties on this 25 day of June, A.D., 2011.

20 July

**SIGNED, SEALED AND DELIVERED** in the presence of:

Original signed

**SEALED, DELIVERED AND ATTESTED** to by the proper signing officers of Halifax Regional Municipality, duly authorized in that behalf, in the presence of:

Original signed

Original signed

**TEMPLETON PLACE LIMITED**

Per:          Original signed

Per:         

**HALIFAX REGIONAL MUNICIPALITY**

Original signed

Per:         

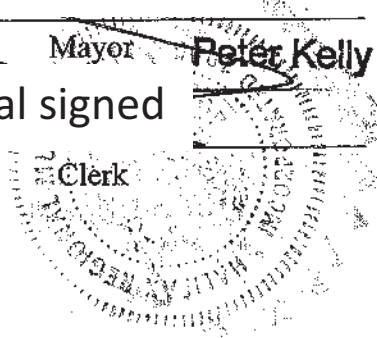
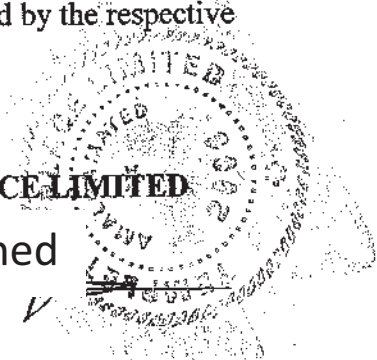
Mayor

Peter Kelly

Original signed

Per:         

Clerk



**PROVINCE OF NOVA SCOTIA**  
**COUNTY OF HALIFAX**

**I CERTIFY** that on the 23 day of June, 2011, **TEMPLETON PLACE LIMITED** caused this Indenture to be properly executed and its corporate seal affixed by its duly authorized officer(s). I have signed as a witness to such execution.

Original signed

---

**LENA M. DIAB**  
A Barrister of the Supreme Court  
of Nova Scotia

PROVINCE OF NOVA SCOTIA  
COUNTY OF HALIFAX, NOVA SCOTIA

~~ON THIS \_\_\_ day of \_\_\_\_\_, A.D., 2011, before me, the subscriber personally came and appeared a subscribing witness to the within and foregoing Indenture, who, having been by me duly sworn, made oath and said that TEMPLETON PLACE LIMITED, one of the parties thereto, signed, sealed and delivered the same in his presence.~~

~~A Commissioner of the Supreme  
Court of Nova Scotia~~

PROVINCE OF NOVA SCOTIA  
COUNTY OF HALIFAX, NOVA SCOTIA

ON THIS 22 day of July, A.D., 2011, before me, the subscriber personally came and appeared before me \_\_\_\_\_ the subscribing witness to the within and the foregoing Indenture, who, having been by me duly sworn, made oath and said that the Halifax Regional Municipality, one of the parties thereto, caused the same to be executed and its Corporate Seal to be thereunto affixed by the hands of Peter Kelly, its Mayor, and Cathy Mellet, its ~~Acting~~ Municipal Clerk, its duly authorized officers in his presence.

Original signed *ky*

SHERRYLL MURPHY  
A Commissioner of the  
Supreme Court of Nova Scotia

A Commissioner of the Supreme  
Court of Nova Scotia



## Schedule A

### PARCEL DESCRIPTION REPORT

2009-06-09 11:53:31

**PID:** 41030735  
**CURRENT STATUS:** ACTIVE  
**EFFECTIVE DATE/TIME:** 2007-12-07 09:57:11

**MUNICIPALITY/COUNTY:** Halifax

**REGISTRATION COUNTY:** Halifax

**LOCATION:** 5599 Fenwick Street, Halifax

**DESIGNATION OF PARCEL ON PLAN:** Lot D-11-9

**TITLE OF PLAN:** Plan of Survey Showing Lots "Y-S-T" and "D-II-9", Right-of-Way "B" and Easement "B", a Subdivision of Lands of The Governors of Dalhousie College and University and Irving Oil Company Limited and George F. W. Young

**REGISTRATION DATE OF PLAN:** April 2, 2003

**REGISTRATION REFERENCE OF PLAN:** Plan No. 35678 DrawerNo.391

#### BENEFITS:

1. Together with a 20 foot wide easement over a portion of Parcel S, for construction, repair and maintenance of underground service easements in favour of Lot D-II-9, as shown on plan number 35678, drawer 391, and described in the Deed conveying Parcel S, in Book 7308 at Page 812.
- 2 Together with a 12 feet wide Right of Way over the western portion of Lot Y-S-T, as defined and described in the Right of Way Agreement in Book 7351 at Page 257.
3. Together with a 10 feet wide Right of Way over the eastern portion of Lot 11A, as defined and described in the Right of Way Agreement in Book 7351 at Page 261.

#### BURDENS:

1. Subject to a 20 foot wide easement in favour of Halifax Regional Municipality, as shown on plan number 35678, drawer 391 as Lot 'A', 20 foot wide City of Halifax Sewer Easement, and defined and described in the Easement Agreement in Book 2339 at Page 955.
2. Subject to a 20 foot wide service easement in favour of lands of Nova Scotia Housing and Municipal Affairs, shown on plan number 35678, drawer 391 as Easement 'B', and defined and described in the Easement Agreement in Book 5149 at Page 886.
3. Subject to a 10 foot wide Right of Way in favour of Lot 11A, over the western portion of Lot D-11-9, as defined and described in the Right of Way Agreement in Book 7351 at Page 266 and identified as Right of Way 'B' on plan number 35678, drawer 391.

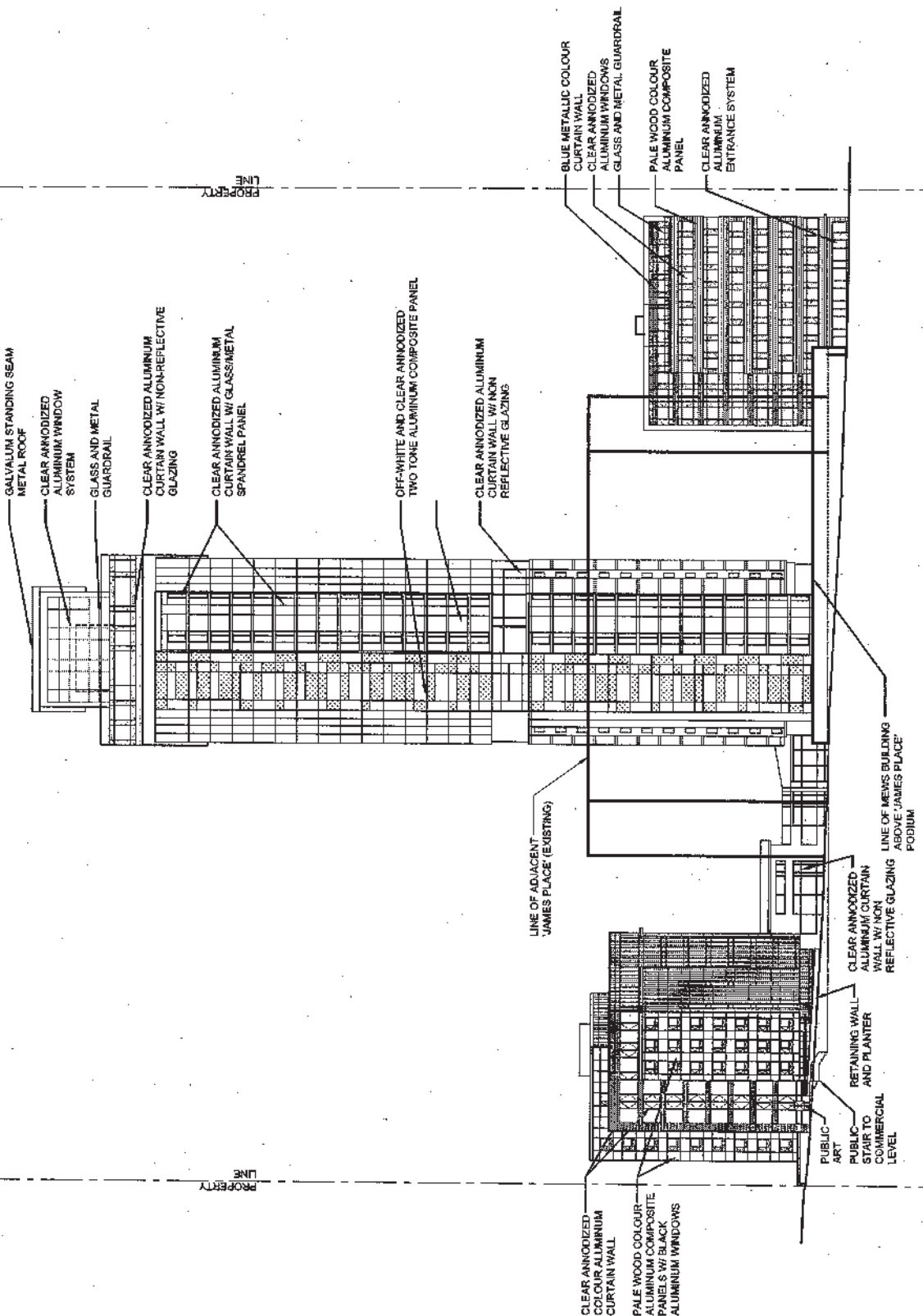
**MGA:** The parcel originates with an approved plan of subdivision that has been filed under the Registry Act or registered under the Land Registration Act at the Land Registration Office for the registration district of Halifax as plan or document number 35678, drawer 391











GALVALUM STANDING SEAM METAL ROOF  
 CLEAR ANODIZED ALUMINUM WINDOW SYSTEM  
 GLASS AND METAL GUARDRAIL

CLEAR ANODIZED ALUMINUM CURTAIN WALL W/ NON-REFLECTIVE GLAZING  
 CLEAR ANODIZED ALUMINUM CURTAIN WALL W/ GLASS/METAL SPANDREL PANEL

OFF-WHITE AND CLEAR ANODIZED TWO TONE ALUMINUM COMPOSITE PANEL

CLEAR ANODIZED ALUMINUM CURTAIN WALL W/ NON REFLECTIVE GLAZING

LINE OF ADJACENT JAMES PLACE (EXISTING)

CLEAR ANODIZED COLOUR ALUMINUM CURTAIN WALL  
 PALE WOOD COLOUR ALUMINUM COMPOSITE PANELS W/ BLACK ALUMINUM WINDOWS

PUBLIC ART  
 PUBLIC STAIR TO COMMERCIAL LEVEL

CLEAR ANODIZED ALUMINUM CURTAIN WALL W/ NON REFLECTIVE GLAZING

LINE OF MEWS BUILDING ABOVE JAMES PLACE PODIUM

BLUE METALLIC COLOUR CURTAIN WALL  
 CLEAR ANODIZED ALUMINUM WINDOWS  
 GLASS AND METAL GUARDRAIL  
 PALE WOOD COLOUR ALUMINUM COMPOSITE PANEL  
 CLEAR ANODIZED ALUMINUM ENTRANCE SYSTEM

**ELEVATIONS**

FENWICK SITE REDEVELOPMENT  
 PID # 41080735  
 HALIFAX, NOVA SCOTIA

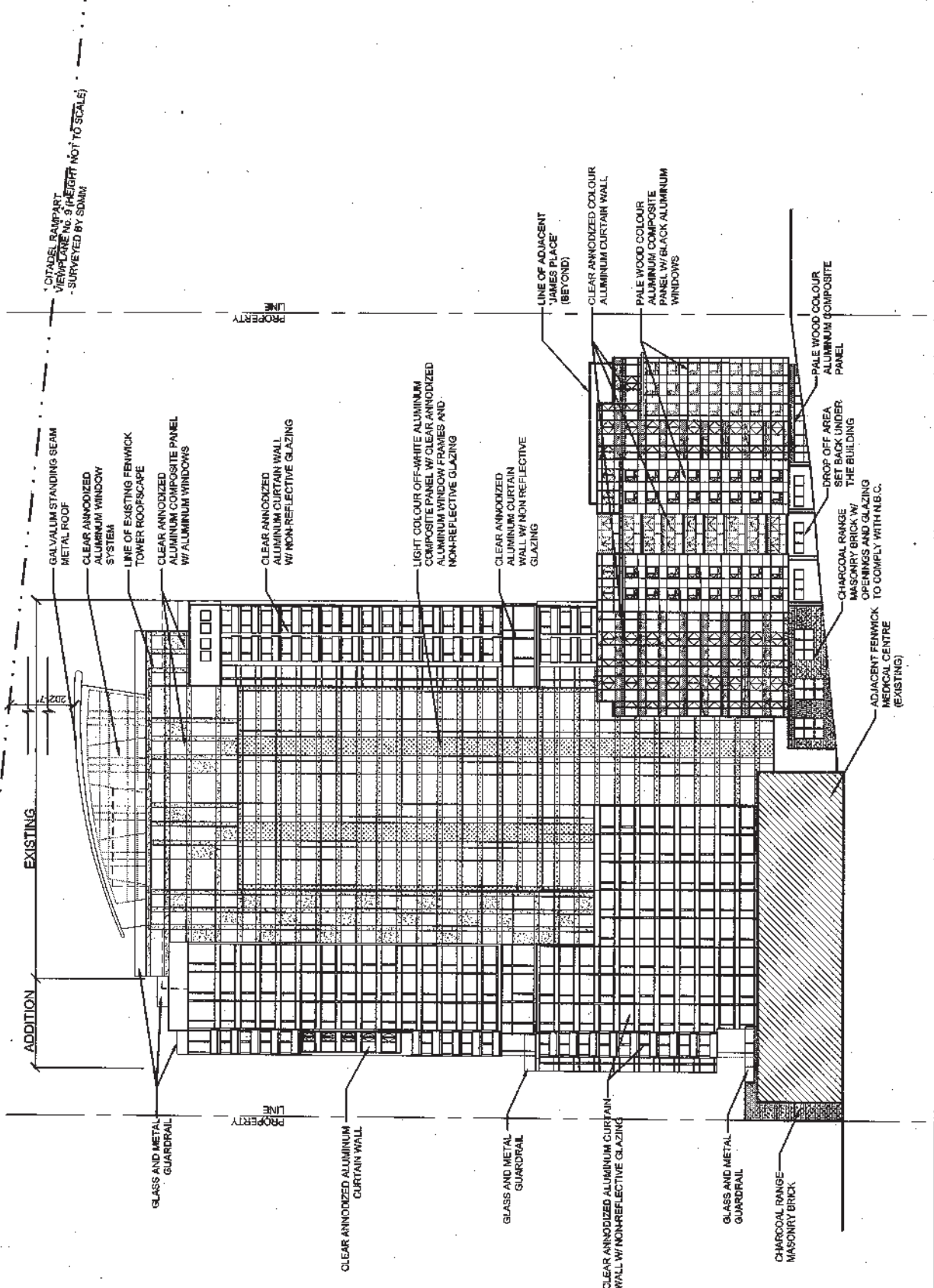


ARCHITECTURE

NO.	REVISIONS	DATE
1	ISSUED FOR DEVELOPMENT AGREEMENT (1/17/20)	
2	REVISION TO D.A. APPLICATION (1/20/20)	
3	REVISION TO D.A. APPLICATION (2/10/20)	
4	REVISION TO D.A. APPLICATION (10/29/20)	
5	REVISION TO D.A. APPLICATION (11/10/20)	
6	REVISION TO D.A. APPLICATION (11/10/20)	
7	REVISION TO D.A. APPLICATION (11/10/20)	

DRAWING NO. A-5  
 NORTH ELEVATION  
 SCALE 0 10 25 50

DATE DEC 09



1. CITADEL RAIMPART  
VIEWPLANE NO. 9 (HEIGHT NOT TO SCALE)  
- SURVEYED BY SDMM

**ELEVATIONS**

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**MZ**

ARCHITECTURE

**REVISIONS**

NO	REVISION NAME	DATE
1.	ISSUED FOR DEVELOPMENT APPROVAL	11/20/09
2.	REVISION TO O.A., APPLICATION	12/04/09
3.	REVISION TO O.A., APPLICATION	12/04/09
4.	REVISION TO O.A., APPLICATION	11/09/09

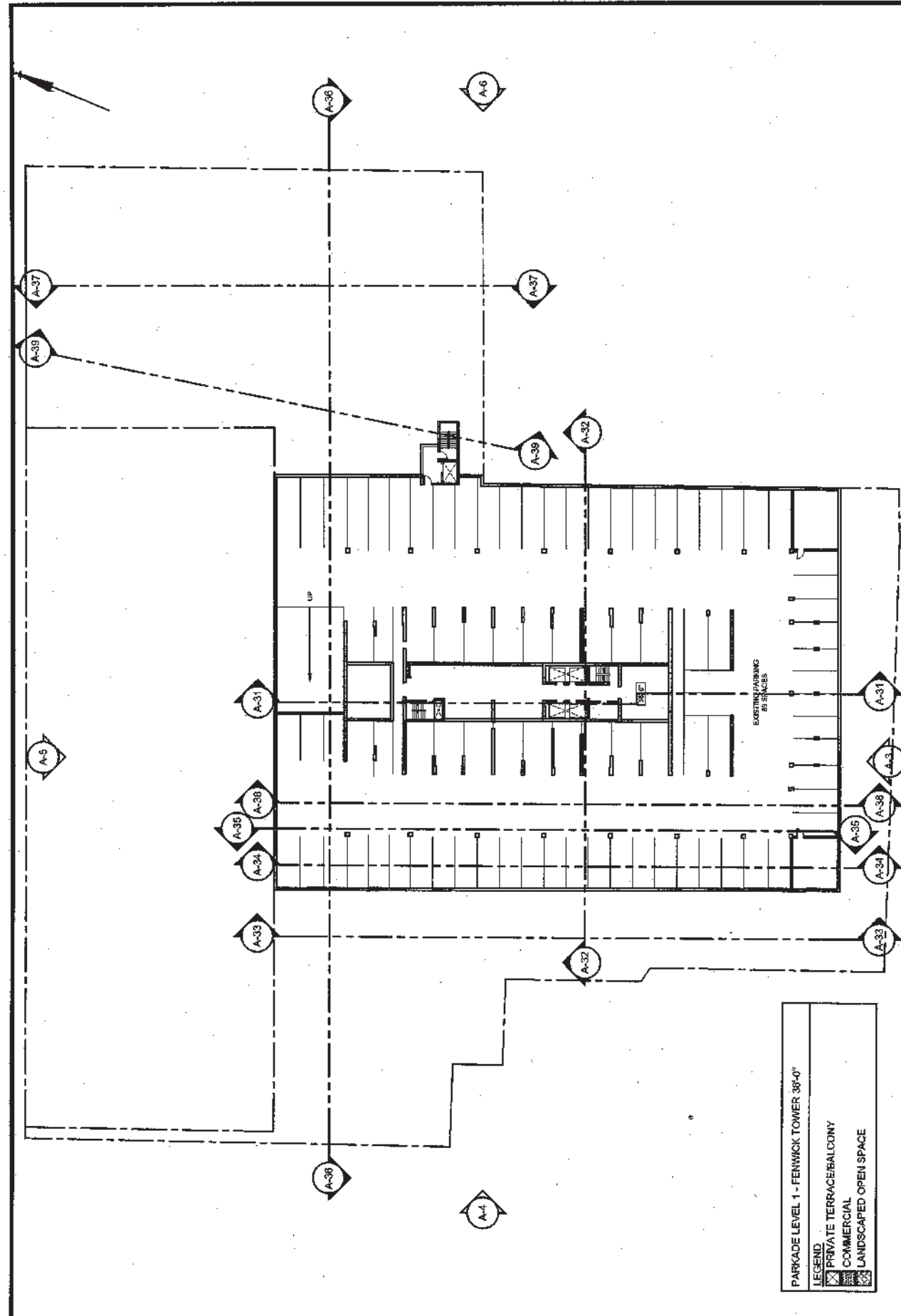
**DRAWING**

**EAST ELEVATION**

DATE: DEC 09

DRAWING NO: A-6

SCALE: 0 10 25 50



DATE: DEC 09  
DRAWING NO: A-7

PLAN  
SCALE: 0 10 25 50 FEET

NO.	REVISION NAME	DATE
1.	ISSUED FOR DEVELOPMENT ASSESSMENT	11/17/09
2.	REVISION TO D.A. APPLICATION	11/17/09
3.	REVISION TO D.A. APPLICATION	12/01/09
4.	REVISION TO D.A. APPLICATION	12/01/09
5.	REVISION TO D.A. APPLICATION	12/01/09

ARCHITECTURE

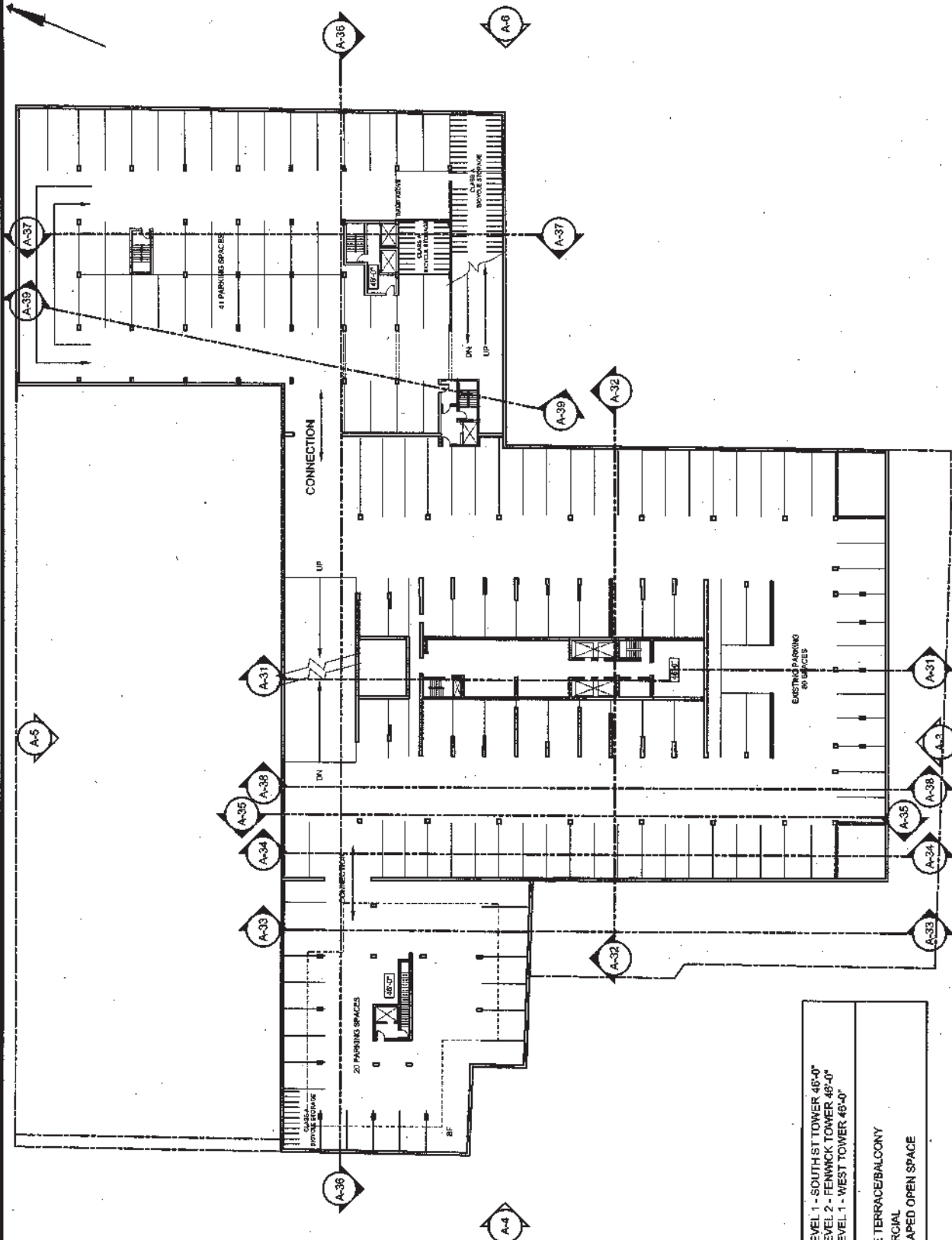


FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

PARKADE LEVEL 1 - FENWICK TOWER

	PARKADE LEVEL 1 - FENWICK TOWER 36'-0"
	PRIVATE TERRACE/BALCONY
	COMMERCIAL
	LANDSCAPED OPEN SPACE





**LEGEND**

[Symbol]	PARKADE LEVEL 1 - SOUTH ST TOWER 48'-0"
[Symbol]	PARKADE LEVEL 2 - FENWICK TOWER 48'-0"
[Symbol]	PARKADE LEVEL 1 - WEST TOWER 48'-0"
[Symbol]	PRIVATE TERRACE/BALCONY
[Symbol]	COMMERCIAL
[Symbol]	LANDSCAPED OPEN SPACE

PARKADE LEVEL 2 - FENWICK TOWER  
 PARKADE LEVEL 1 - SOUTH ST TOWER/WEST TOWER

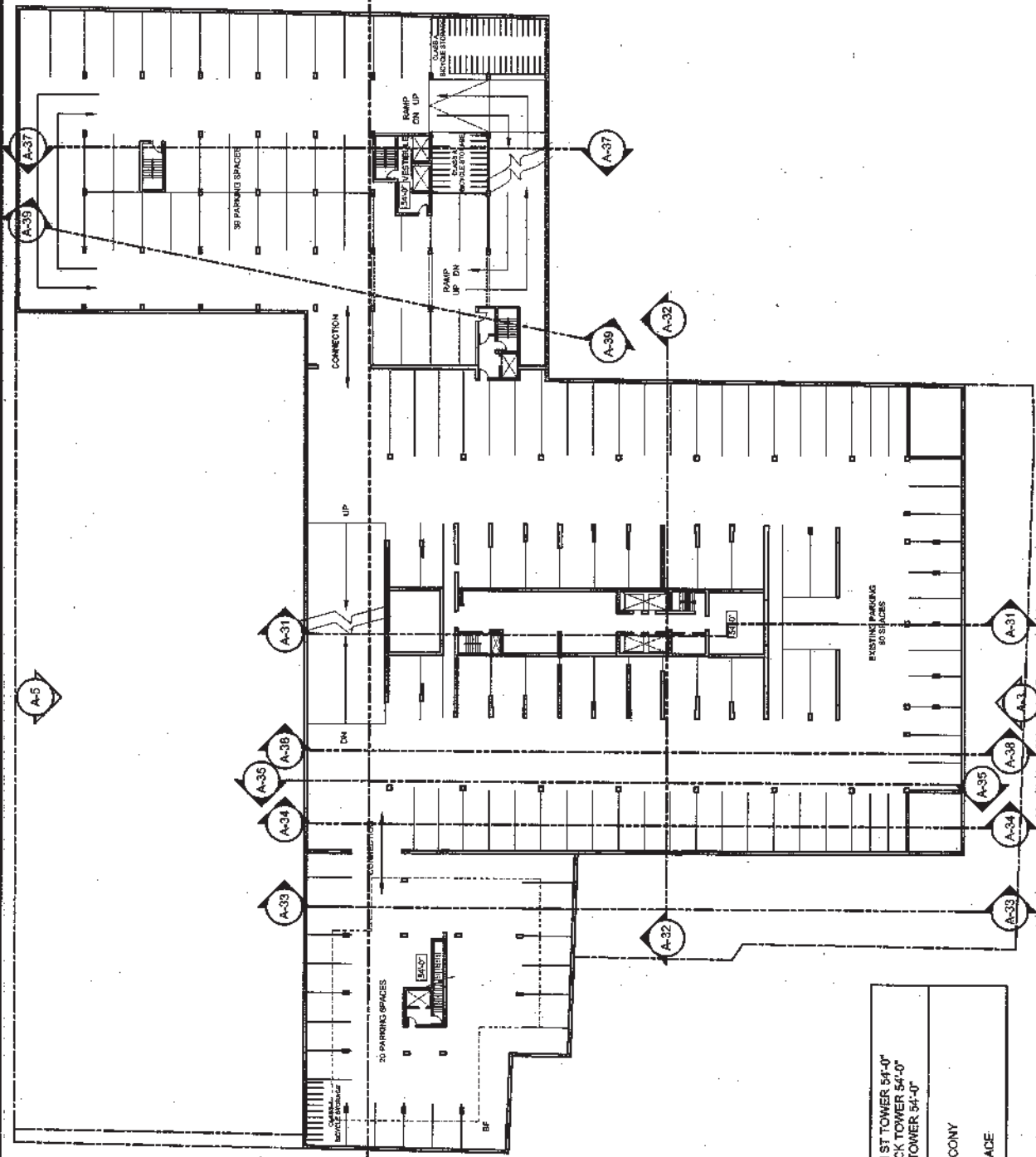
FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

ARCHITECTURE		DRAWING		DATE
NO.	DESCRIPTION	DATE	BY	
1.	ISSUED FOR DEVELOPMENT AGREEMENT	11/20/09	TRELOAR	
2.	REVISION TO S.A. APPLICATION	12/04/09		
3.	REVISION TO S.A. APPLICATION	12/04/09		
4.	REVISION TO S.A. APPLICATION	12/04/09		
5.	REVISION TO S.A. APPLICATION	12/04/09		
6.	REVISION TO S.A. APPLICATION	12/04/09		

PLAN

SCALE  
 0 10 25 50  
 FEET

DEC 09  
 A-8



**LEGEND**

[Symbol]	PRIVATE TERRACE/BALCONY
[Symbol]	COMMERCIAL
[Symbol]	LANDSCAPED OPEN SPACE

PARKADE LEVEL 2 - SOUTH ST TOWER 54'-0"  
 PARKADE LEVEL 3 - FENWICK TOWER 54'-0"  
 PARKADE LEVEL 2 - WEST TOWER 54'-0"

**FENWICK SITE REDEVELOPMENT**  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

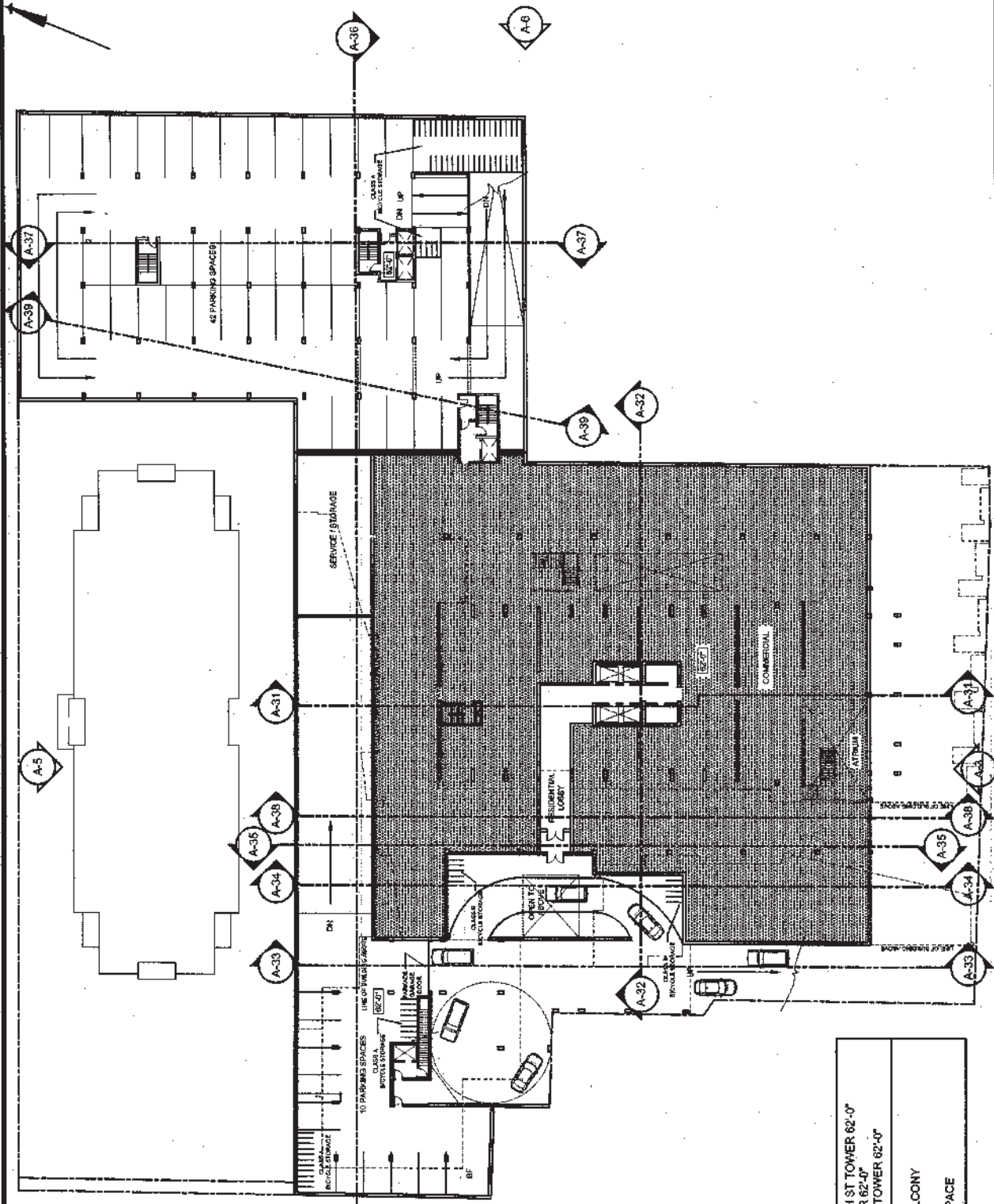
**ARCHITECTURE**

NO.	REVISION NAME	DATE
1	ISSUED FOR DEVELOPMENT AGREEMENT (171) (09)	
2	REVISION TO D.A. APPLICATION	
3	REVISION TO D.A. APPLICATION	
4	REVISION TO D.A. APPLICATION	
5	REVISION TO D.A. APPLICATION	
6	REVISION TO D.A. APPLICATION	
7	REVISION TO D.A. APPLICATION	

**DRAWING** PLAN  
**DATE** DEC 09  
**DRAWING NO.** A-9

SCALE: 0 10 25 50 FEET

PARKADE LEVEL 3 - FENWICK TOWER  
 PARKADE LEVEL 2 - SOUTH ST TOWERWEST TOWER



**LEGEND**

[Symbol]	PRIVATE TERRACE/BALCONY
[Symbol]	COMMERCIAL
[Symbol]	LANDSCAPED OPEN SPACE

LEVEL 1 - FENWICK TOWER  
 PARKADE LEVEL 3 - SOUTH ST TOWERWEST TOWER

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



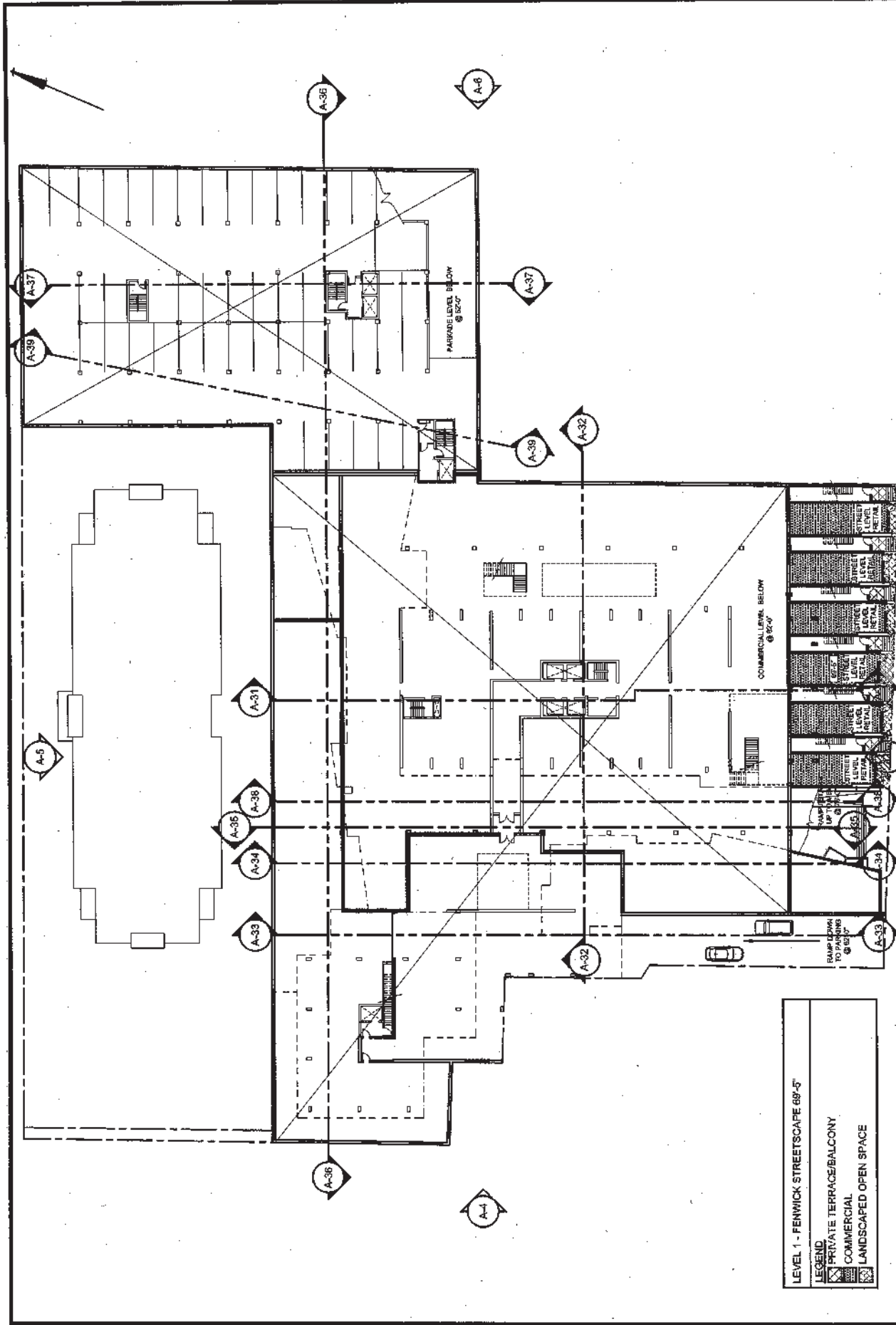
ARCHITECTURE

REVISIONS

NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMITTING	11/10/09
3	ISSUED FOR PERMITTING	11/10/09
4	ISSUED FOR PERMITTING	11/10/09
5	ISSUED FOR PERMITTING	11/10/09
6	ISSUED FOR PERMITTING	11/10/09
7	ISSUED FOR PERMITTING	11/10/09

SCALE  
 0 10 25 50  
 FEET

DATE  
 DEC 09  
 DRAWING NO.  
 A-10



LEVEL 1 - FENWICK STREETScape 69'-5"

LEGEND

- PRIVATE TERRACE/BALCONY
- COMMERCIAL
- LANDSCAPED OPEN SPACE

**FENWICK SITE REDEVELOPMENT**  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**LEVEL 1 - FENWICK TOWNHOUSES**

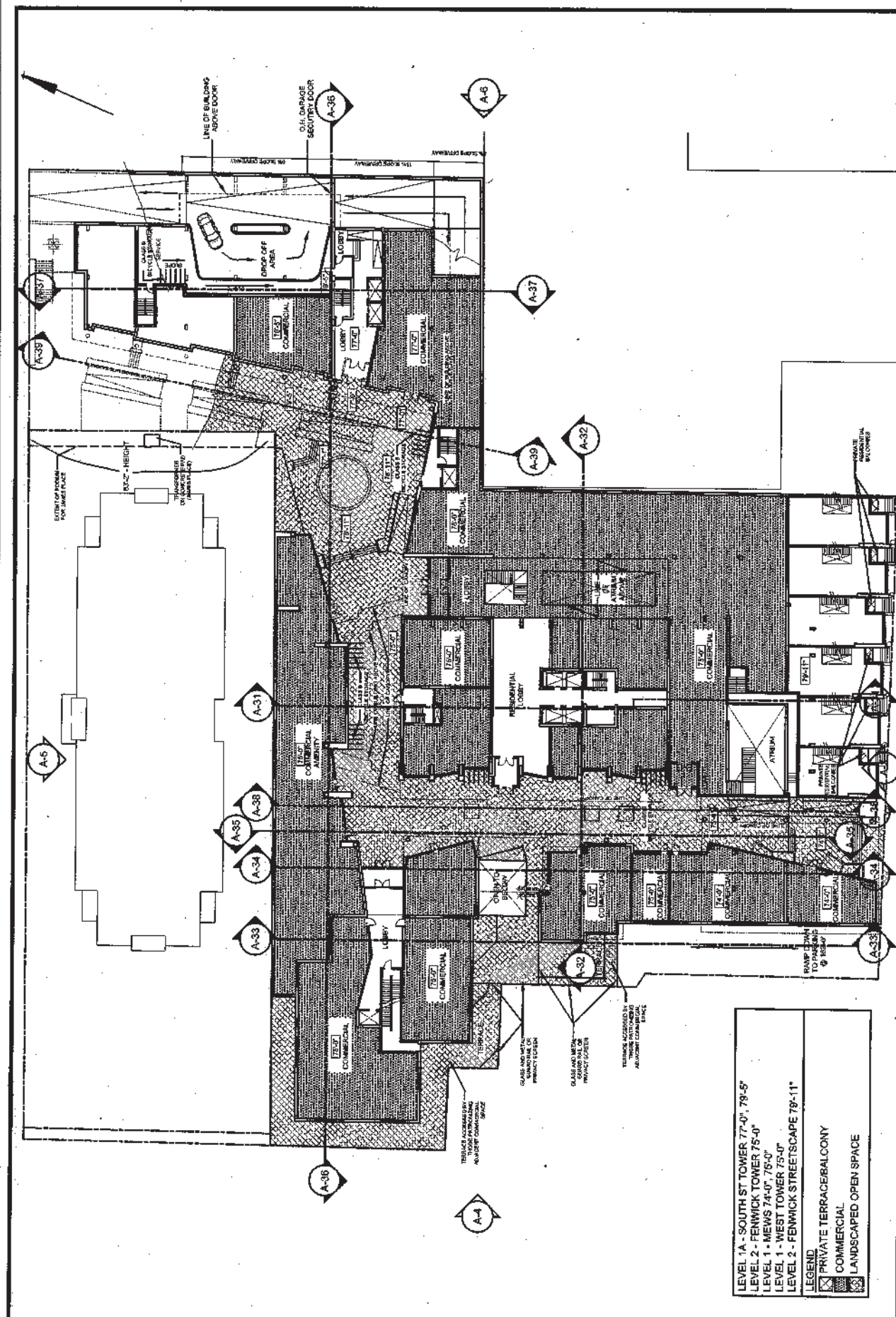
NO.	REVISIONS	DATE
1.	ISSUED FOR DEVELOPMENT/CONSTRUCTION	11/12/09
2.	PERMITTED TO LOCAL APPLICATION	02/02/10
3.	PERMITTED TO LOCAL APPLICATION	02/02/10
4.	PERMITTED TO LOCAL APPLICATION	11/09/10
5.	PERMITTED TO LOCAL APPLICATION	02/02/10
6.	PERMITTED TO LOCAL APPLICATION	02/02/10

ARCHITECTURE

PLAN

SCALE: 0 10 25 50 FEET

DATE: DEC 09  
DRAWING NO: A-11



DATE: DEC 08  
DRAWING NO.: A-12

PLAN  
SCALE: 0 10 25 50 FEET

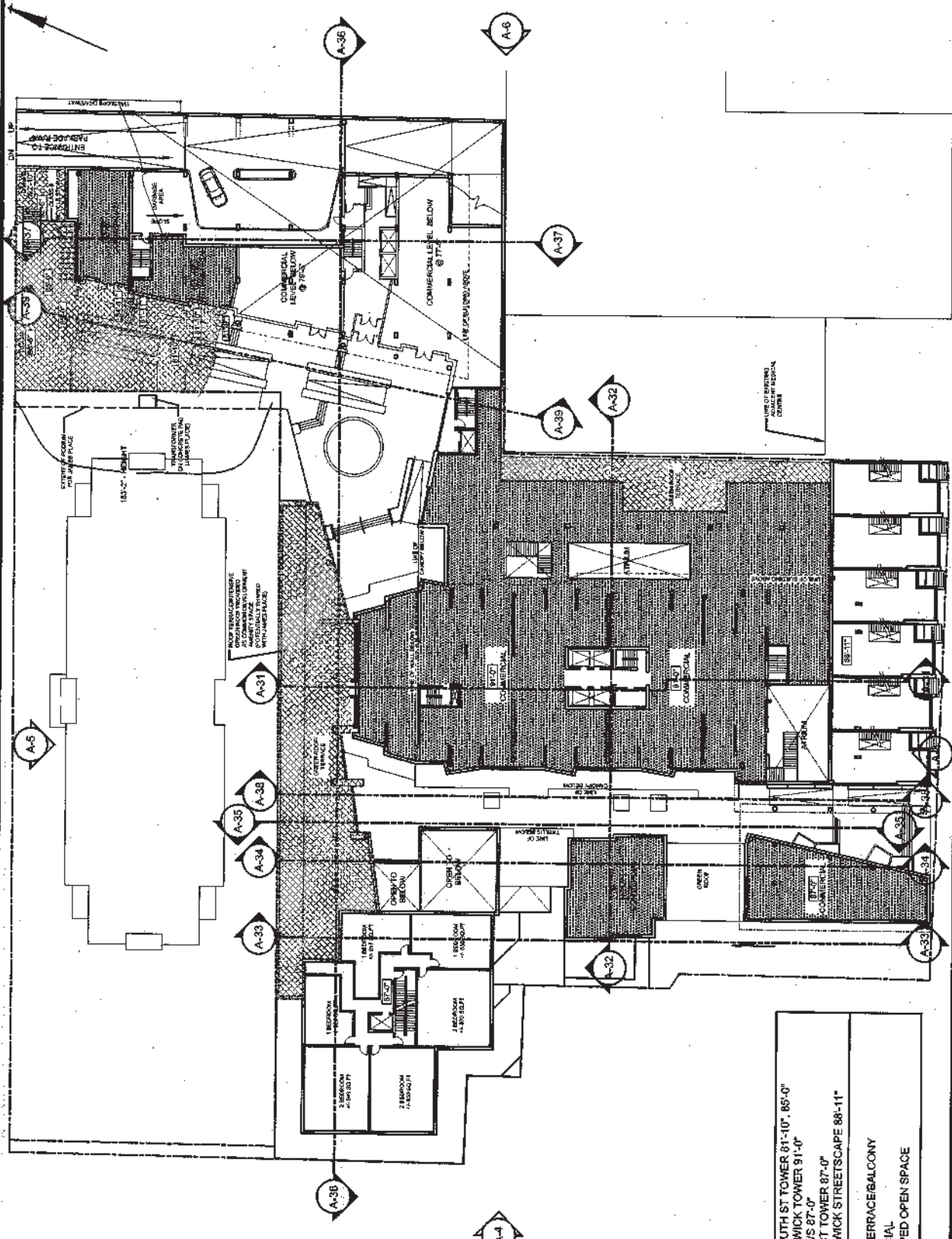
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1	ISSUED FOR PERMITTING APPLICATION			
2	REVISED TO ADD APPLICATION			
3	REVISED TO ADD APPLICATION			
4	REVISED TO ADD APPLICATION			
5	REVISED TO ADD APPLICATION			
6	REVISED TO ADD APPLICATION			
7	REVISED TO ADD APPLICATION			
8	REVISED TO ADD APPLICATION			
9	REVISED TO ADD APPLICATION			
10	REVISED TO ADD APPLICATION			

ARCHITECTURE  
N

FENWICK SITE REDEVELOPMENT  
PID # 41040735  
HALIFAX, NOVA SCOTIA

- LEVEL 1A - SOUTH ST TOWER 77'-0", 78'-5"
  - LEVEL 2 - FENWICK TOWER 75'-0"
  - LEVEL 1 - MEWS 74'-0", 75'-0"
  - LEVEL 1 - WEST TOWER 75'-0"
  - LEVEL 2 - FENWICK STREETSCAPE 79'-11"
- LEGEND
- PRIVATE TERRACE/BALCONY
  - COMMERCIAL
  - LANDSCAPED OPEN SPACE

LEVEL 2 - FENWICK TOWER  
LEVEL 1 - WEST TOWER / MEWS  
LEVEL 1A - SOUTH ST TOWER  
LEVEL 2 - FENWICK STREETSCAPE



DATE DEC 09  
DRAWING NO. A-13

PLAN  
SCALE 0' 10' 20' 50' FEET

NO.	REVISIONS	DATE
1	REVISED DEVELOPMENT APPROVAL	11/20/09
2	REVISED TO SHOW ACCESS POINTS	11/20/09
3	REVISED TO SHOW LANDSCAPE	11/20/09
4	REVISED TO SHOW APPLICABLE	11/20/09
5	REVISED TO SHOW APPLICABLE	11/20/09
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7	REVISED TO SHOW APPLICABLE	11/20/09
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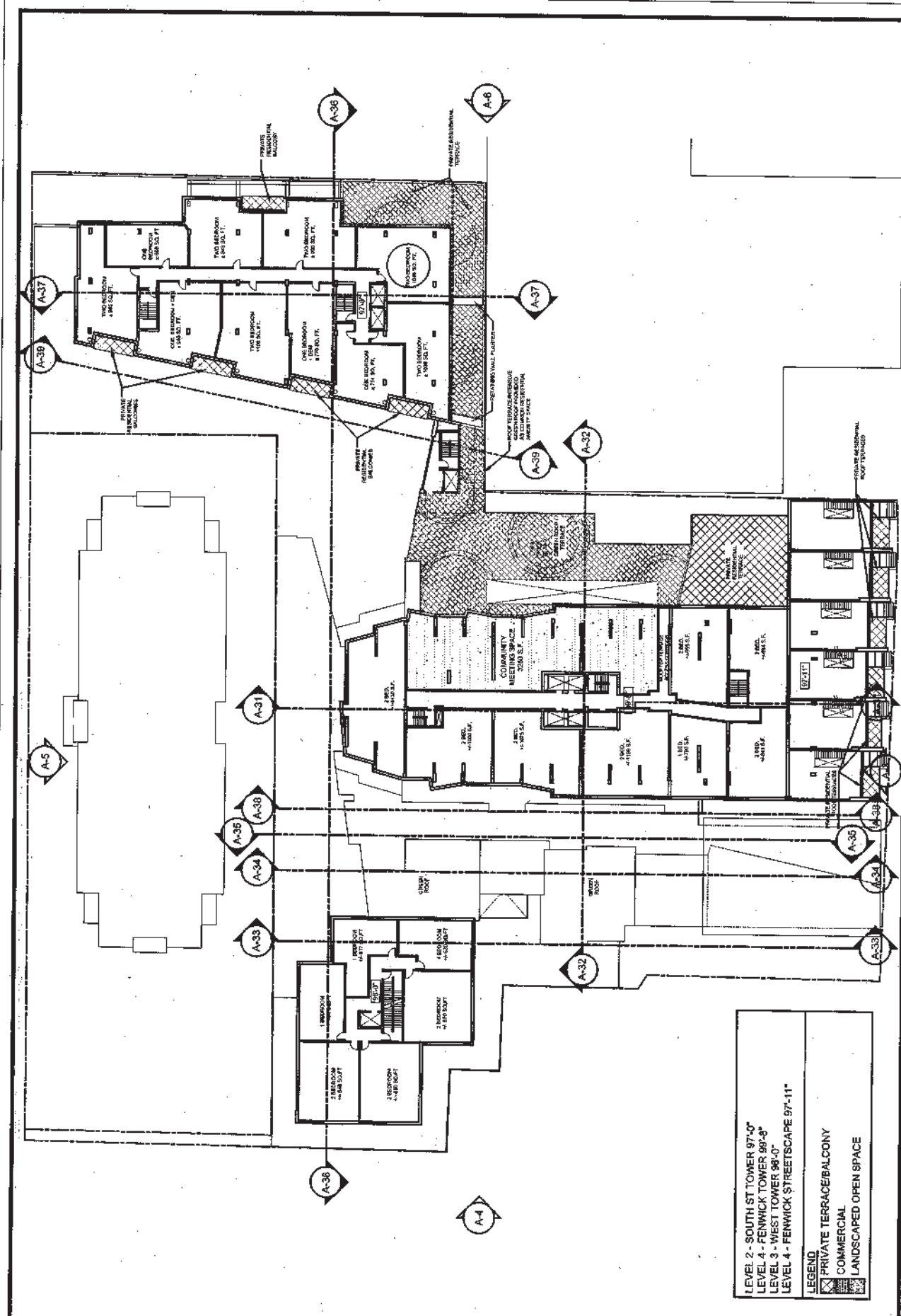
ARCHITECTURE  
N

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

LEVEL 1B - SOUTH ST TOWER 81'-10" - 85'-0"  
LEVEL 2 - FENWICK TOWER 91'-0"  
LEVEL 2 - MEWS 87'-0"  
LEVEL 3 - WEST TOWER 87'-0"  
LEVEL 3 - FENWICK STREETSCAPE 86'-11"

LEGEND  
 PRIVATE TERRACE/BALCONY  
 COMMERCIAL  
 LANDSCAPED OPEN SPACE

LEVEL 3 - FENWICK TOWER  
LEVEL 2 - WEST TOWER / MEWS  
LEVEL 1B - SOUTH ST TOWER  
LEVEL 3 - FENWICK STREETSCAPE



LEVEL 2 - SOUTH ST TOWER 97'-0"  
 LEVEL 4 - FENWICK TOWER 99'-8"  
 LEVEL 3 - WEST TOWER 98'-0"  
 LEVEL 4 - FENWICK STREETSCAPE 97'-11"

LEGEND  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

LEVEL 4 - FENWICK TOWER  
 LEVEL 3 - WEST TOWER  
 LEVEL 2 - SOUTH ST TOWER  
 LEVEL 4 - FENWICK STREETSCAPE

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



ARCHITECTURE

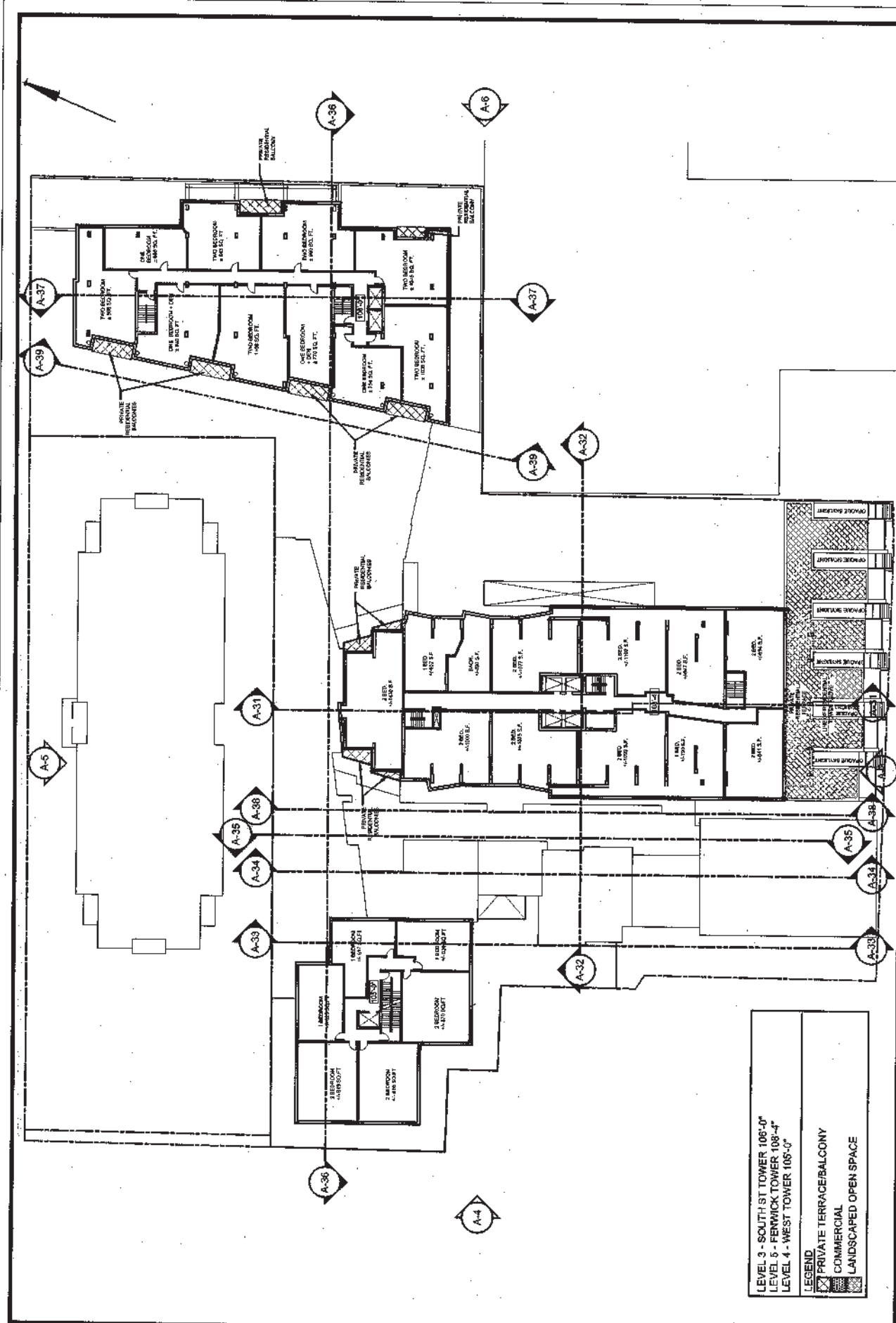
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NO.	REVISION
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2	FOR LOCAL TO A-39 WATER
3	FOR LOCAL TO A-39 WATER
4	FOR LOCAL TO A-39 WATER
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6	FOR LOCAL TO A-39 WATER
7	FOR LOCAL TO A-39 WATER
8	FOR LOCAL TO A-39 WATER
9	FOR LOCAL TO A-39 WATER
10	FOR LOCAL TO A-39 WATER

PLAN

DATE DEC 09

DRAWING NO. A-14

SCALE  
 0 10 25 50  
 FEET



LEVEL 3 - SOUTH ST. TOWER 106'-0"  
 LEVEL 5 - FENWICK TOWER 108'-4"  
 LEVEL 4 - WEST TOWER 105'-0"

LEGEND  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

LEVEL 5 - FENWICK TOWER  
 LEVEL 4 - WEST TOWER  
 LEVEL 3 - SOUTH ST. TOWER



ARCHITECTURE

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

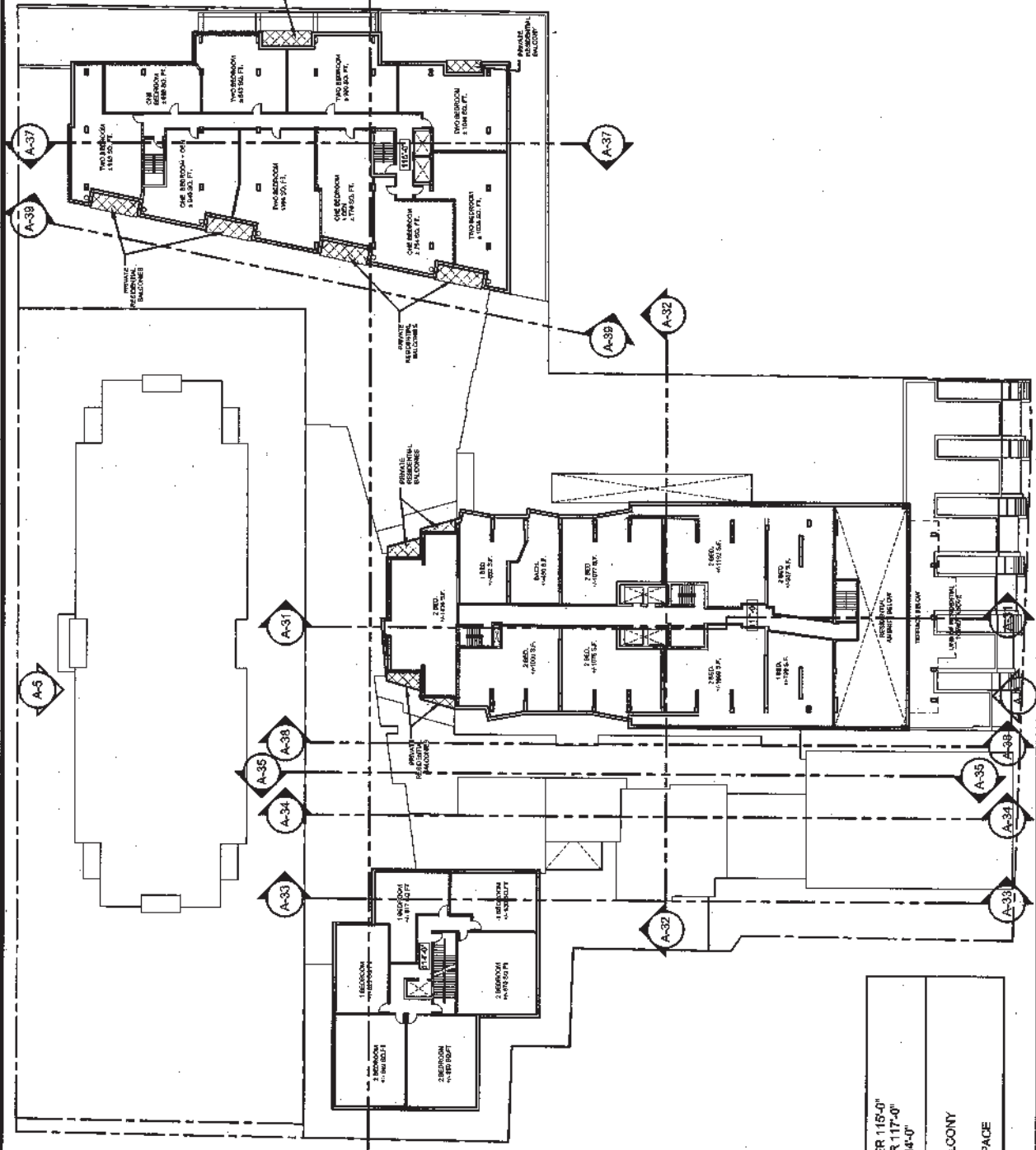
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NO.	REVISION NAME	DRAWN	DEC 08
1.	ISSUED FOR DEVELOPMENT APPLICATION	12/08/08	
2.	REVISION TO D.A. APPLICATION	02/09/09	
3.	REVISION TO D.A. APPLICATION	03/09/09	
4.	REVISION TO D.A. APPLICATION	03/09/09	
5.	REVISION TO D.A. APPLICATION	03/09/09	
6.	REVISION TO D.A. APPLICATION	03/09/09	
7.	REVISION TO D.A. APPLICATION	03/09/09	

PLAN

SCALE  
 0 10 25 50  
 FEET

DRAWING NO. A-15





**LEGEND**

- LEVEL 4 - SOUTH ST TOWER 115'-0"
- LEVEL 6 - FENWICK TOWER 117'-0"
- LEVEL 5 - WEST TOWER 114'-0"

**LEGEND**

- PRIVATE TERRACE/BALCONY
- COMMERCIAL
- LANDSCAPED OPEN SPACE

LEVEL 6 - FENWICK TOWER  
 LEVEL 5 - WEST TOWER  
 LEVEL 4 - SOUTH ST TOWER

**FENWICK SITE REDEVELOPMENT**  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

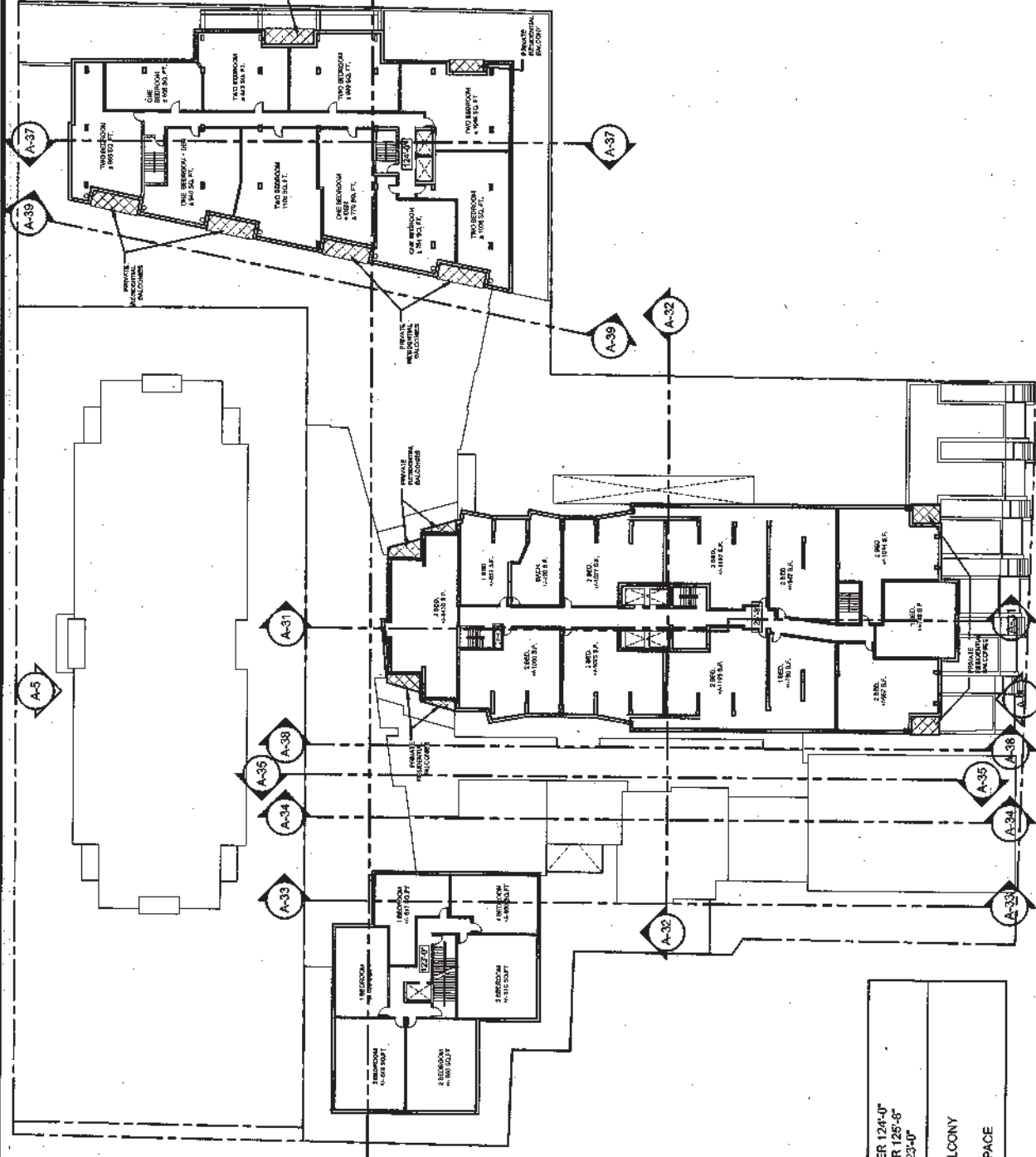


ARCHITECTURE




NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING AND DESIGN		
2	REVISION TO ALL APPLICATIONS		
3	REVISION TO ALL APPLICATIONS		
4	REVISION TO ALL APPLICATIONS		
5	REVISION TO ALL APPLICATIONS		

DATE: DEC 09  
 DRAWING NO: A-16  
 SCALE: 0 10 25 50 FEET

PLAN  
 DRAWING



LEVEL 5 - SOUTH ST TOWER 124'-0"  
 LEVEL 7 - FENWICK TOWER 125'-8"  
 LEVEL 6 - WEST TOWER 123'-0"

LEGEND  
 PRIVATE TERRACE/BALCONY  
 COMMERCIAL  
 LANDSCAPED OPEN SPACE

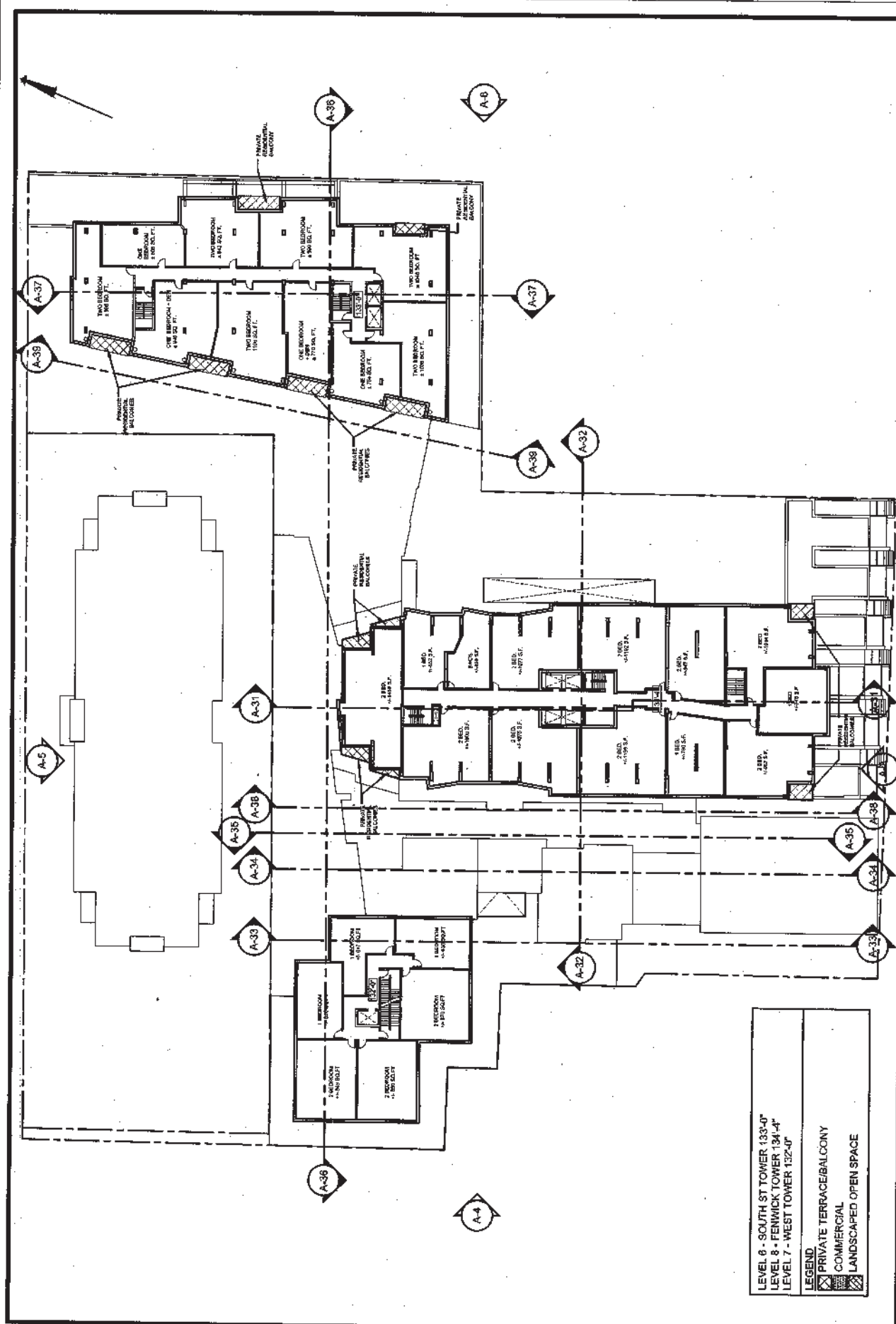
**FENWICK SITE REDEVELOPMENT**  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

**ARCHITECTURE**

NO.	REVISION	DATE
1	ISSUE FOR DEVELOPMENT APPLICATION (7/2/09)	10/20/09
2	REVISION TO D.A. APPLICATION	10/20/09
3	REVISION TO D.A. APPLICATION	10/20/09
4	REVISION TO D.A. APPLICATION	10/20/09
5	REVISION TO D.A. APPLICATION	10/20/09

DATE: DEC-09  
 DRAWING NO.: A-17

SCALE: 0 10 25 50 FEET



LEVEL 6 - SOUTH ST TOWER 133-0"  
 LEVEL 8 - FENWICK TOWER 134-4"  
 LEVEL 7 - WEST TOWER 132-0"  
**LEGEND**  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

LEVEL 8 - FENWICK TOWER  
 LEVEL 7 - WEST TOWER  
 LEVEL 6 - SOUTH ST TOWER

**FENWICK SITE REDEVELOPMENT**  
 PID # 41630735  
 HALIFAX, NOVA SCOTIA

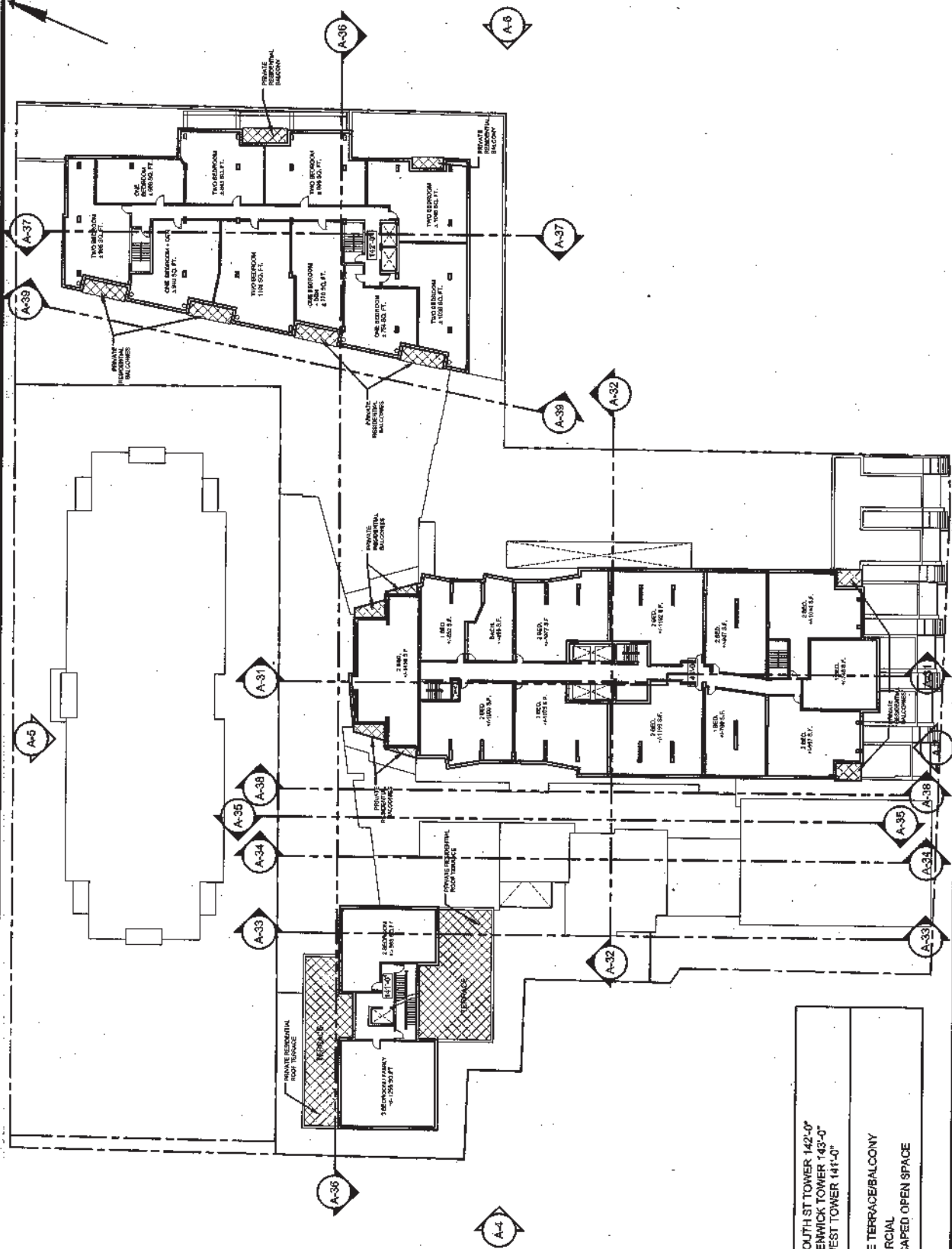


ARCHITECTURE

NO.	REVISIONS	DATE
1.	ISSUED FOR PERMITTING / APPLICATION	12/08/08
2.	REVISION TO D.A. APPLICATION	03/09/09
3.	REVISION TO D.A. APPLICATION	03/09/09
4.	REVISION TO D.A. APPLICATION	11/08/08
5.	REVISION TO D.A. APPLICATION	11/08/08

DRAWING  
 PLAN  
 SCALE  
 0 10 25 50  
 FEET

DATE  
 DEC 08  
 DRAWING NO.  
 A-18



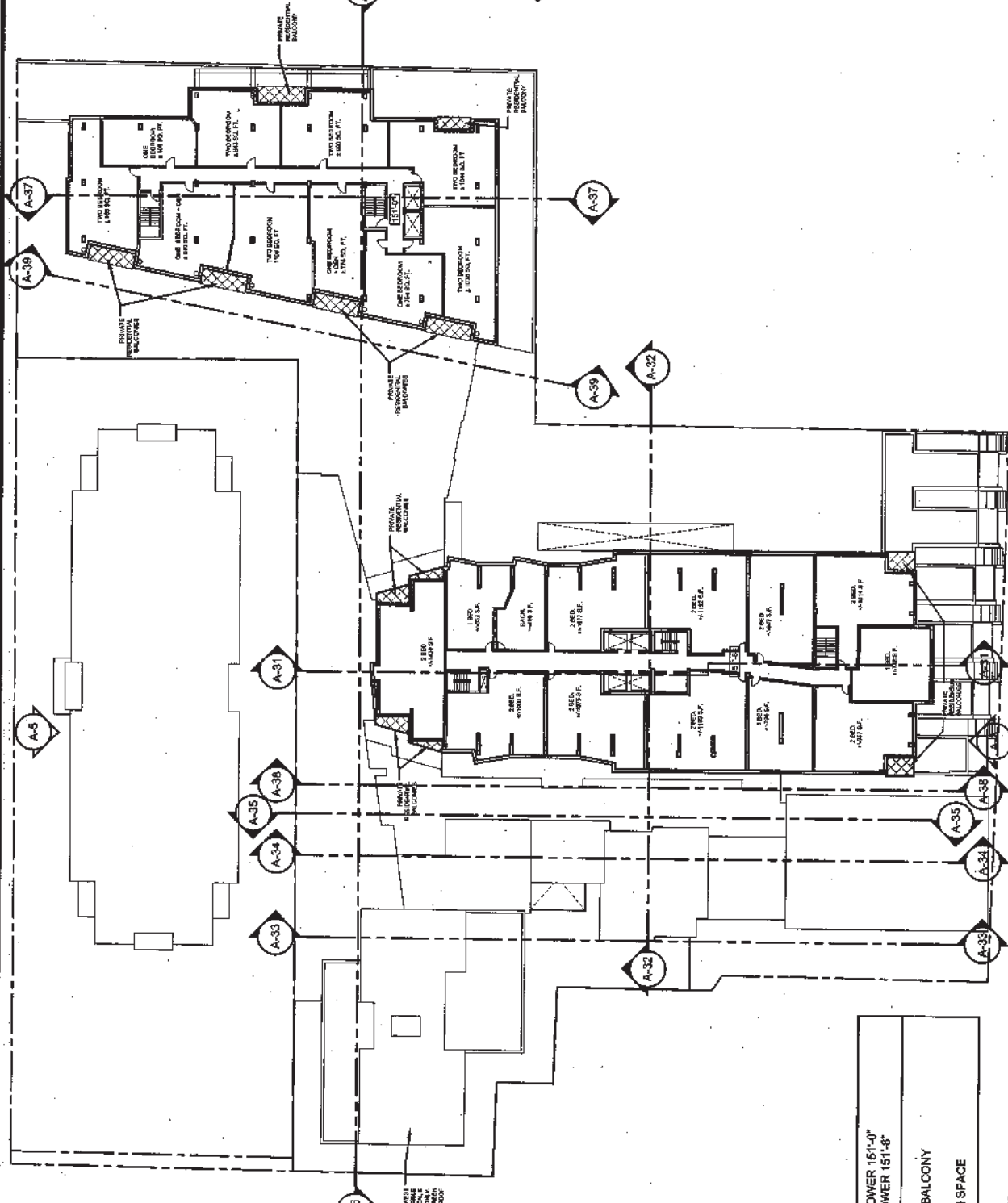
LEVEL 7 - SOUTH ST TOWER 142'-0"  
 LEVEL 8 - FENWICK TOWER 143'-0"  
 LEVEL 8 - WEST TOWER 141'-0"

**LEGEND**  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

LEVEL 9 - FENWICK TOWER  
 LEVEL 8 - WEST TOWER  
 LEVEL 7 - SOUTH ST TOWER

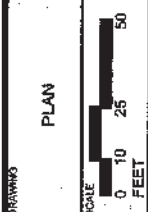
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DRAWING		PLAN																		
DRAWING NO.		A-19																		
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NO.	REVISIONS	DATE																		
1.	ISSUED FOR DEVELOPMENT APPLICATION (17/09)																			
2.	PROVISION TO D.A. APPLICATION (18/09)																			
3.	REVISION TO D.A. APPLICATION (20/09)																			
4.	REVISION TO D.A. APPLICATION (10/10)																			
5.	REVISION TO D.A. APPLICATION (10/10)																			
ARCHITECTURE																				

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



LEVEL 8 - SOUTH ST TOWER 151'-0"  
 LEVEL 10 - FENWICK TOWER 151'-0"  
**LEGEND:**  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

DATE: DEC. 09  
 DRAWING NO.: A-20

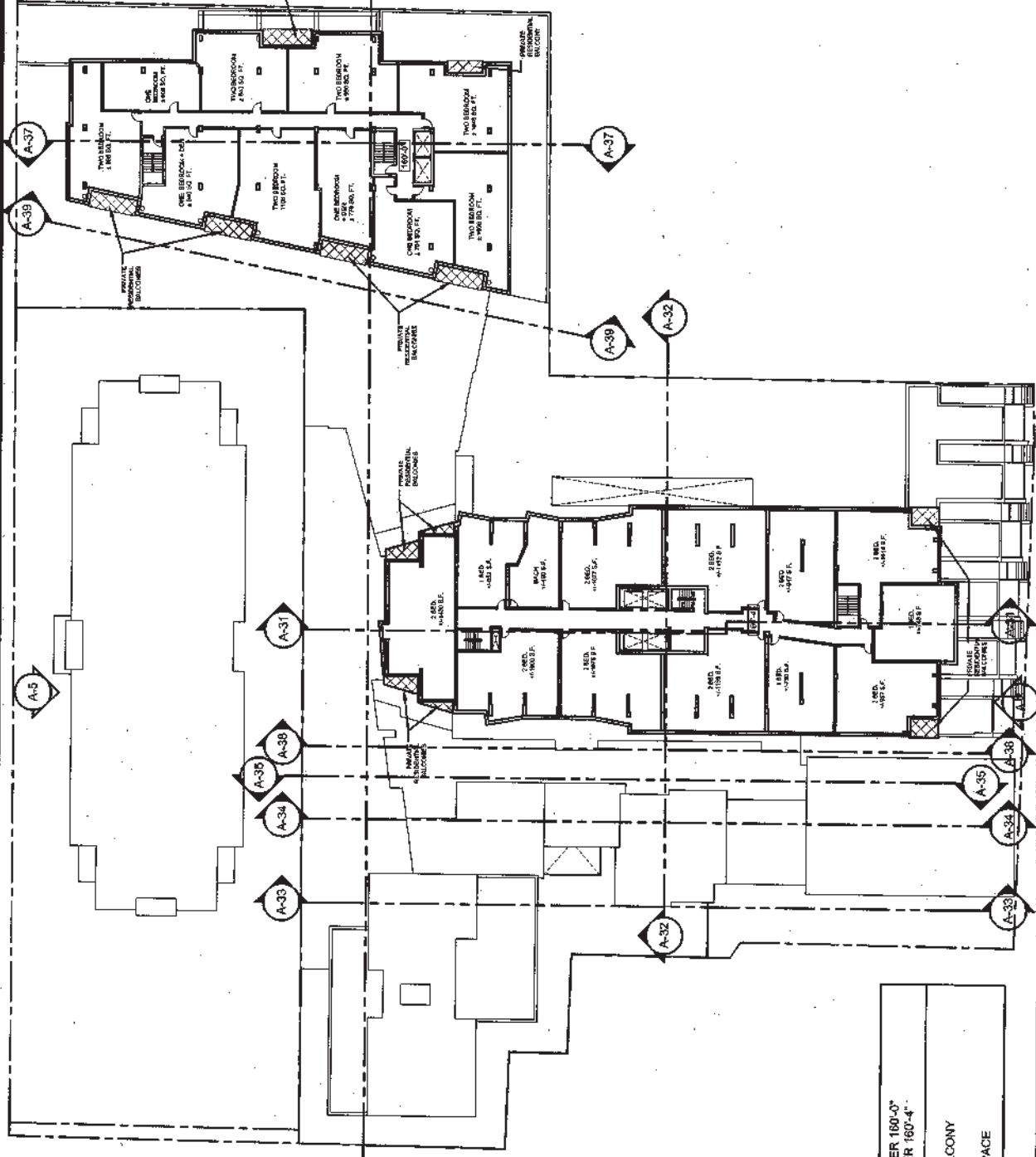


NO.	REVISION	DATE
1.	ISSUED FOR DEVELOPMENT AND CONSTRUCTION	12/09/09
2.	REVISION TO CALL OUT BALCONY	12/09/09
3.	REVISION TO CALL OUT BALCONY	12/09/09
4.	REVISION TO CALL OUT BALCONY	12/09/09
5.	REVISION TO CALL OUT BALCONY	12/09/09

DRAWING: PLAN  
 SCALE: 1/8" = 1'-0"  
 ARCHITECTURE

**FENWICK SITE REDEVELOPMENT**  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

LEVEL 10 - FENWICK TOWER  
 LEVEL 8 - SOUTH ST TOWER



LEVEL 9 - SOUTH ST TOWER 180'-0"  
 LEVEL 11 - FENWICK TOWER 180'-4"

**LEGEND**

- ▣ PRIVATE TERRACE/BALCONY
- ▣ COMMERCIAL
- ▣ LANDSCAPED OPEN SPACE

LEVEL 11 - FENWICK TOWER  
 LEVEL 9 - SOUTH ST TOWER

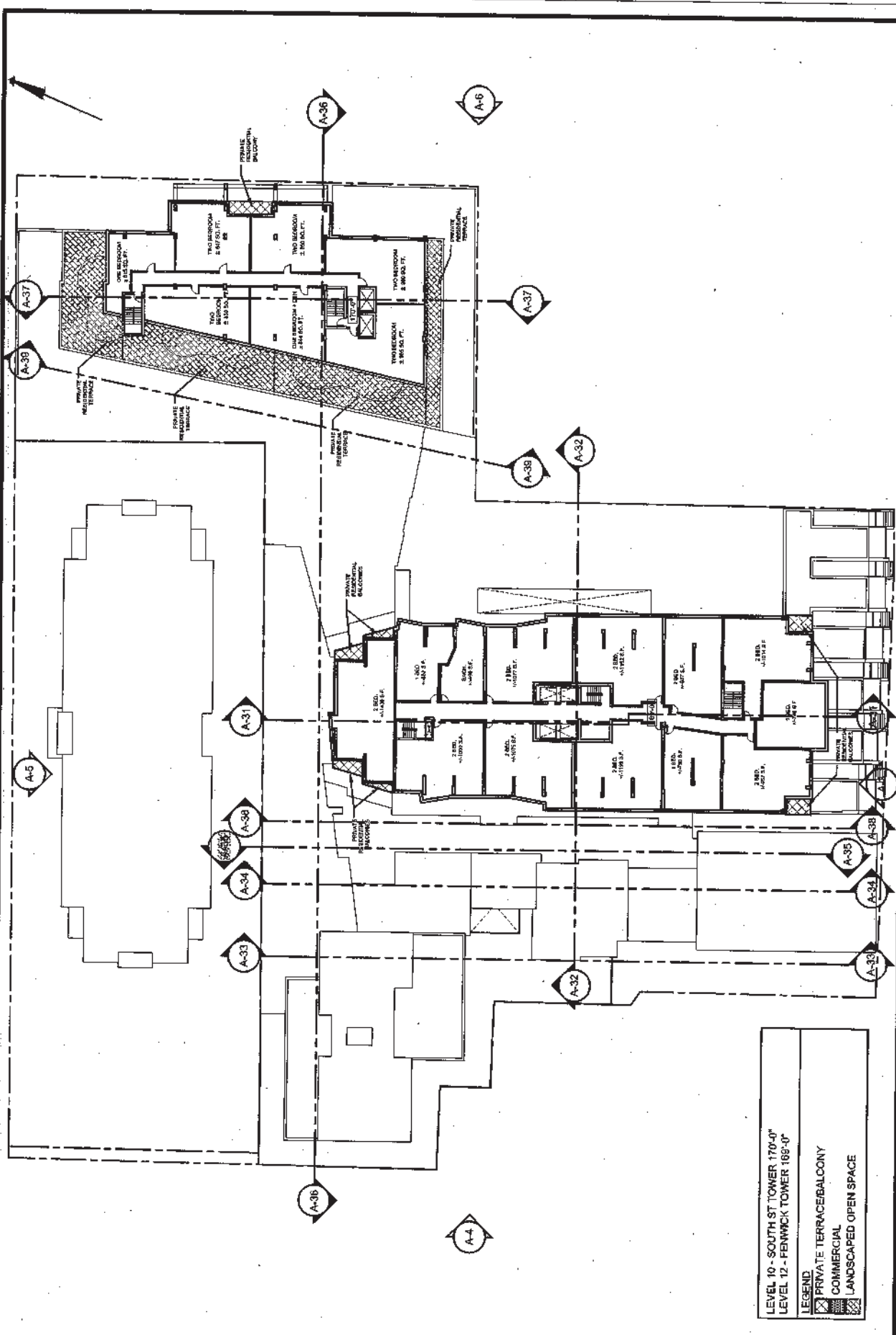
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 DRAWING NO: A-21

PLAN  
 SCALE: 0 10 25 50 FEET

NO.	REVISIONS	DATE
1.	ISSUED FOR PERMIT APPLICATION	11/13/09
2.	REVISION TO D.A. APPLICATION	11/13/09
3.	REVISION TO D.A. APPLICATION	11/13/09
4.	REVISION TO D.A. APPLICATION	11/13/09
5.	REVISION TO D.A. APPLICATION	11/13/09
6.	REVISION TO D.A. APPLICATION	11/13/09

ARCHITECTURE  
 ZZ

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



LEVEL 10 - SOUTH ST TOWER 170'-0"  
 LEVEL 12 - FENWICK TOWER 168'-0"  
**LEGEND**  
 PRIVATE TERRACE/BALCONY  
 COMMERCIAL  
 LANDSCAPED OPEN SPACE

**FENWICK SITE REDEVELOPMENT**  
 PID # 41033735  
 HALIFAX, NOVA SCOTIA

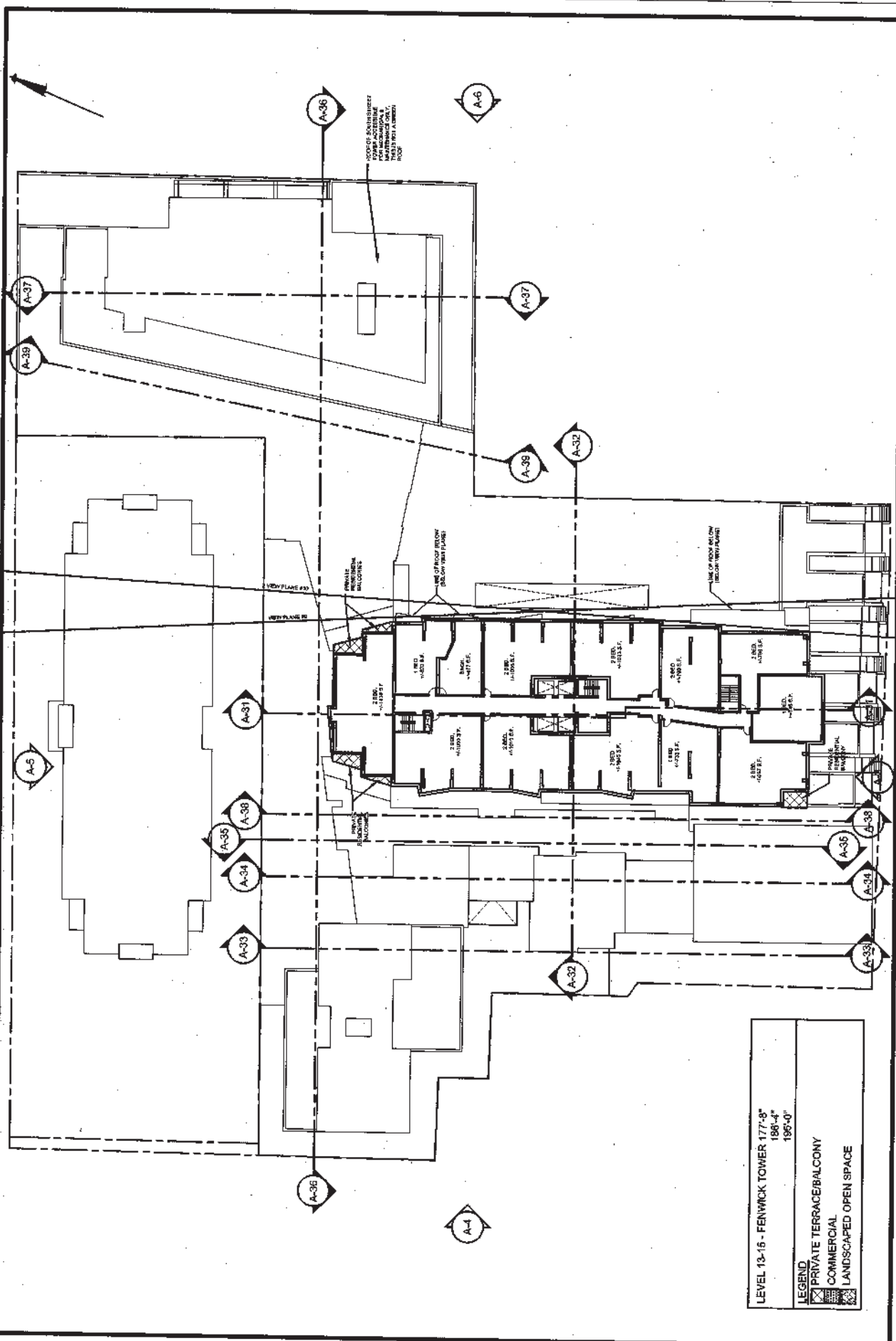
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NO.	REVISIONS	DATE
1	ISSUED FOR APPROVAL	12/20/08
2	REVISION TO D.A. APPROVAL	01/06/09
3	REVISION TO D.A. APPROVAL	02/02/09
4	REVISION TO D.A. APPROVAL	02/02/09
5	REVISION TO D.A. APPROVAL	02/02/09
6	REVISION TO D.A. APPROVAL	02/02/09

**PLAN**

DATE: DEC 08  
 DRAWING NO: A-22

SCALE: 0 10 25 50 FEET



LEVEL 13-15 - FENWICK TOWER 177'-8"  
 186'-4"  
 196'-0"

LEGEND  
 PRIVATE TERRACE/BALCONY  
 COMMERCIAL  
 LANDSCAPED OPEN SPACE

DATE: DEC 09  
 DRAWING NO.: A-23

PLAN

SCALE: 0 10 25 50 FEET

REVISIONS

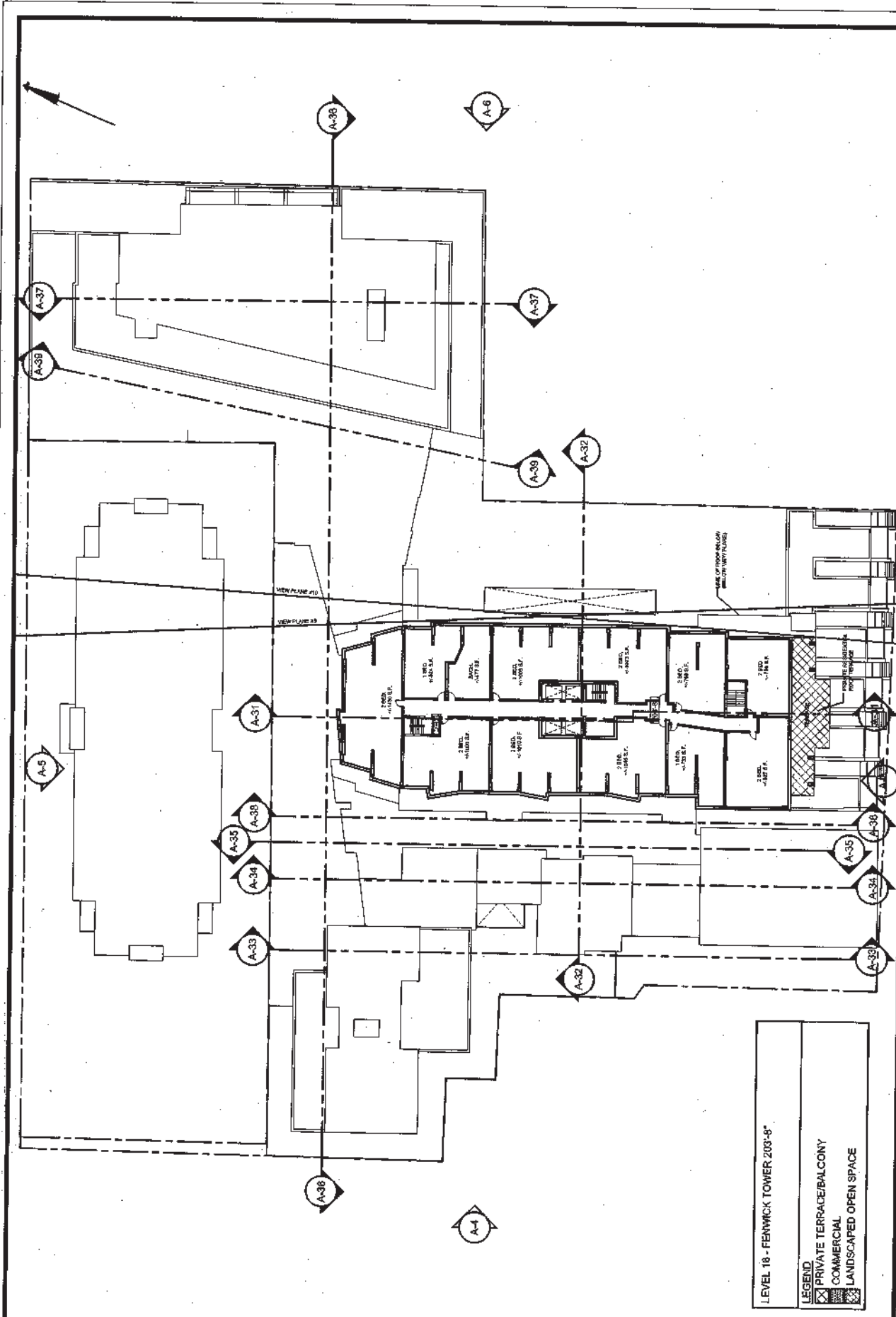
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1	ISSUED FOR PERMITTING AND APPROVALS	12/09
2	REVISION TO A.L. AND C.L. AND C.L. AND C.L.	12/09
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5	REVISION TO A.L. AND C.L. AND C.L. AND C.L.	12/09

ARCHITECTURE

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

LEVEL 13-15 - FENWICK TOWER





**ARCHITECTURE**

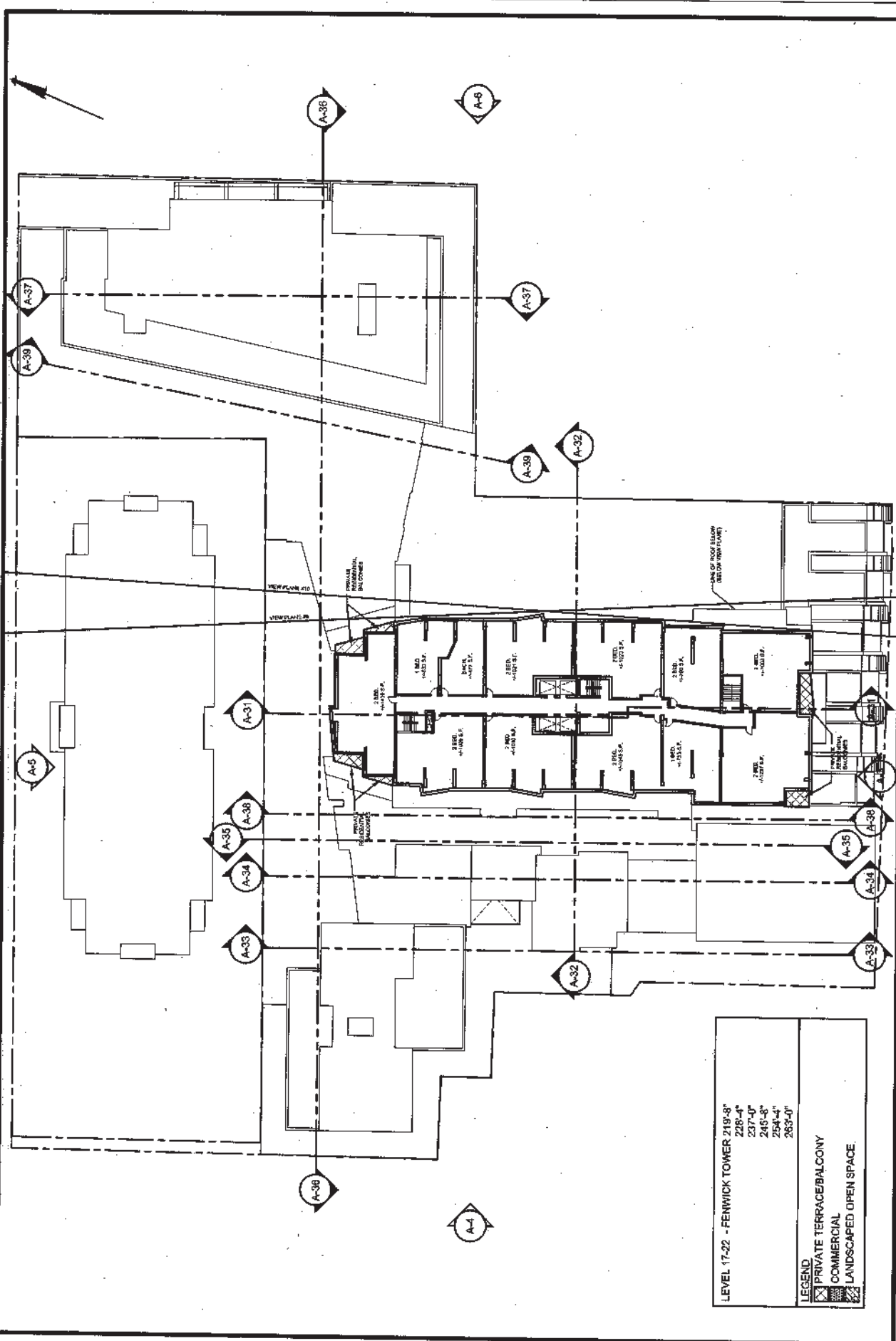
FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

REVISIONS		DATE
NO.	DESCRIPTION	
1	ISSUED FOR PERMIT APPLICATION	DEC 08
2	ISSUED FOR PERMIT APPLICATION	
3	ISSUED FOR PERMIT APPLICATION	
4	ISSUED FOR PERMIT APPLICATION	
5	ISSUED FOR PERMIT APPLICATION	

DRAWING: PLAN

SCALE: 0 10 25 50 FEET

DRAWING NO. **A-24**



LEVEL 17-22 - FENWICK TOWER

228'-4"	219'-8"
237'-0"	228'-4"
245'-8"	237'-0"
254'-4"	245'-8"
263'-0"	254'-4"

LEGEND

[Symbol]	PRIVATE TERRACE/BALCONY
[Symbol]	COMMERCIAL
[Symbol]	LANDSCAPED OPEN SPACE

LEVEL 17-22 - FENWICK TOWER

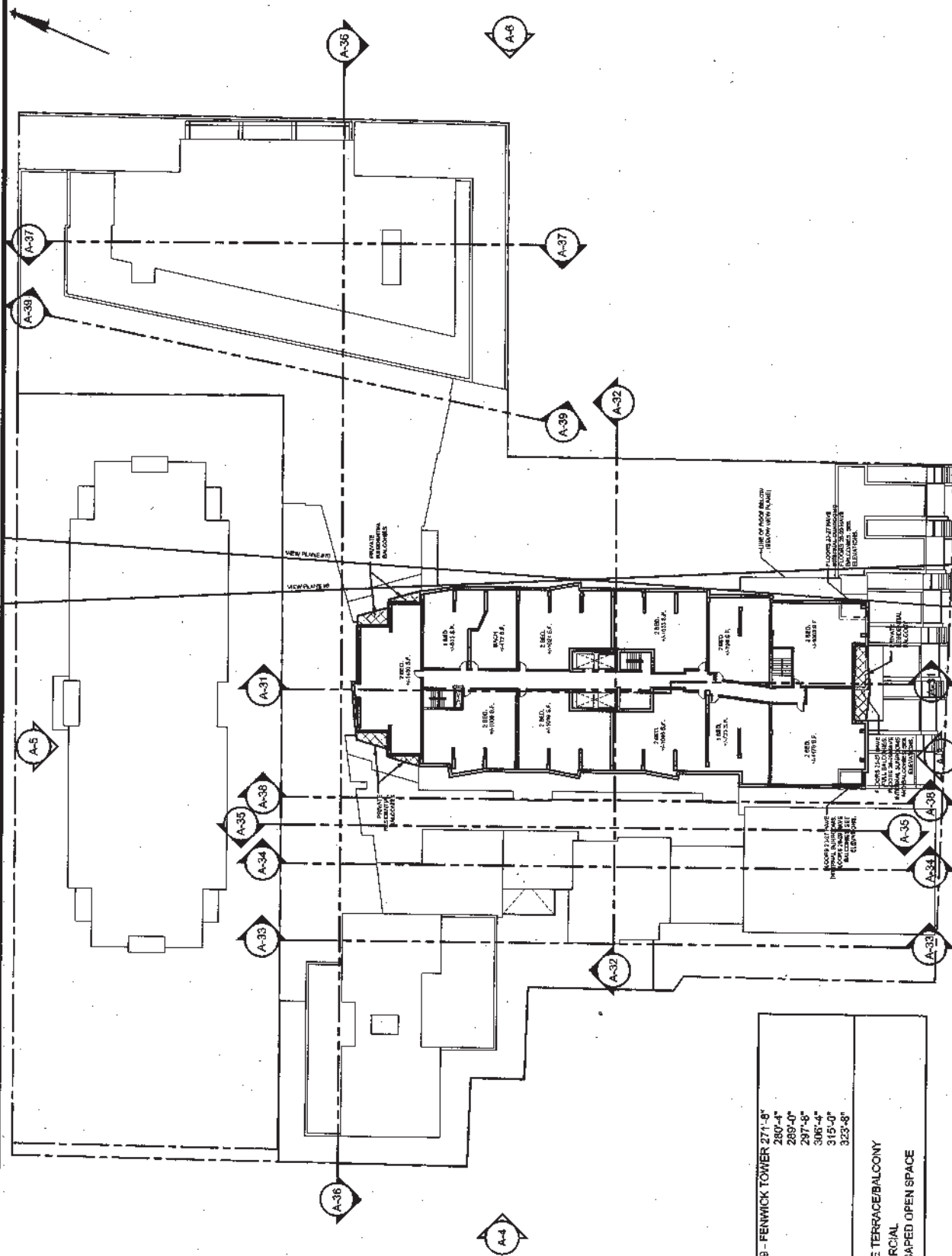
FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

ARCHITECTURE

DATE: DEC 09  
DRAWING: PLAN  
DRAWING NO.: A-25

SCALE: 0 10 25 50 FEET

NO.	REVISIONS	DATE
1.	BASED FOR DEVELOPMENT APPLICATION FROM	
2.	REVISION TO DEVELOPMENT APPLICATION	
3.	REVISION TO DEVELOPMENT APPLICATION	
4.	REVISION TO DEVELOPMENT APPLICATION	
5.	REVISION TO DEVELOPMENT APPLICATION	



LEVEL 23-29 - FENWICK TOWER 271'-9"  
 280'-4"  
 289'-0"  
 297'-8"  
 306'-4"  
 315'-0"  
 323'-8"

LEGEND  
 [Symbol] PRIVATE TERRACE/BALCONY  
 [Symbol] COMMERCIAL  
 [Symbol] LANDSCAPED OPEN SPACE

LEVEL 23-29 - FENWICK TOWER

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

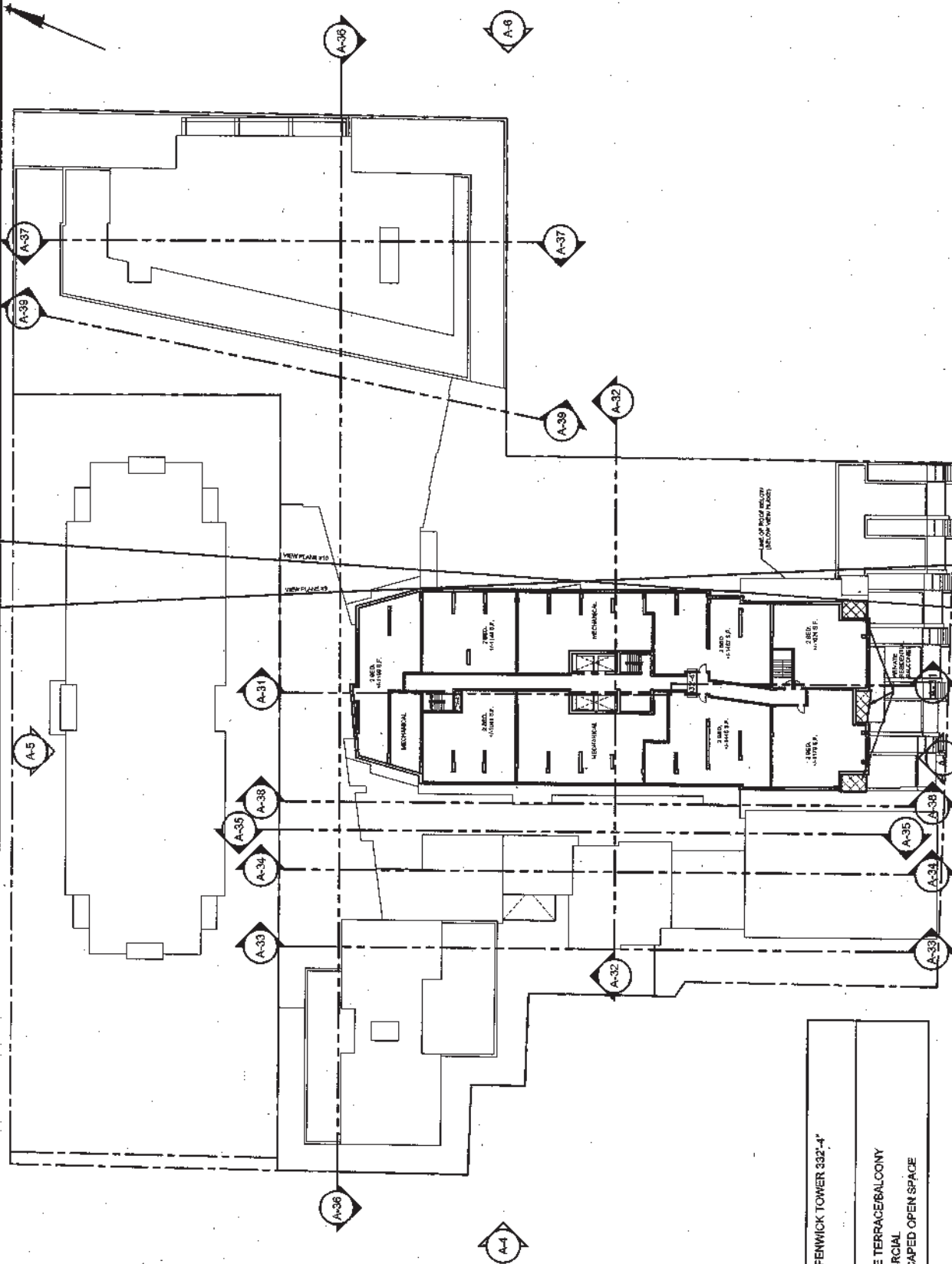
ARCHITECTURE

DATE: DEC 09  
 DRAWING NO.: A-26

SCALE: 0 10 25 50 FEET

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT APPLICATION	12/09
2	REVISION TO CLARIFY	12/09
3	REVISION TO CLARIFY	12/09
4	REVISION TO CLARIFY	12/09
5	REVISION TO CLARIFY	12/09



LEVEL 30 - FENWICK TOWER 332-4"

**LEGEND**

- ▣ PRIVATE TERRACE/BALCONY
- ▣ COMMERCIAL
- ▣ LANDSCAPED OPEN SPACE

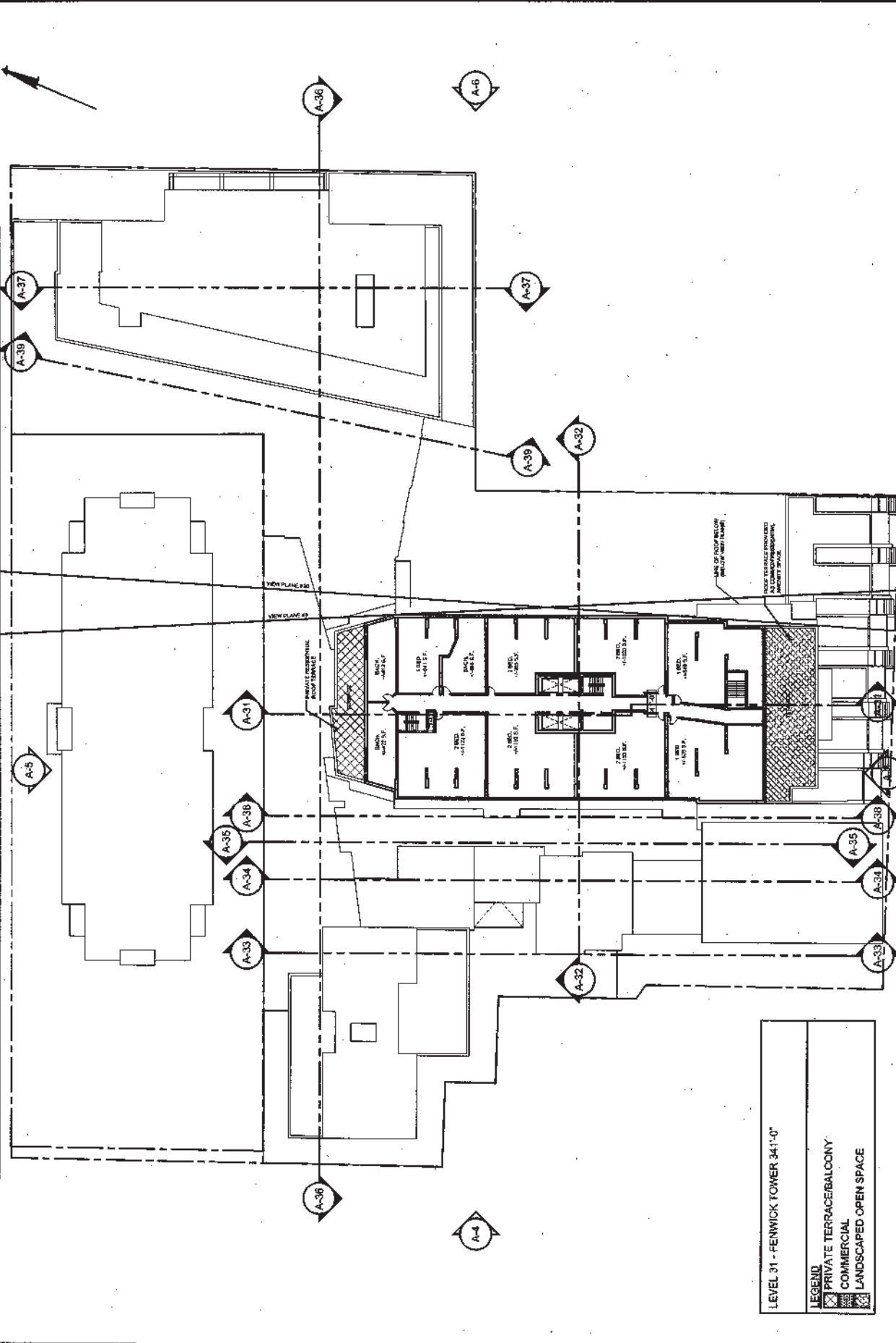
**FENWICK SITE REDEVELOPMENT**  
PID # 41030736  
HALIFAX, NOVA SCOTIA

**ARCHITECTURE**

REVISIONS		DRAWING		DATE
NO.	REVISION NAME	DATE	SCALE	DRAWING NO.
1	ISSUED FOR DEVELOPMENT APPLICATION	07/10/09		DEC 09
2	REVISION TO D.A. APPLICATION	08/04/10		
3	REVISION TO D.A. APPLICATION	07/09/10		
4	REVISION TO D.A. APPLICATION	02/09/10		
5	REVISION TO D.A. APPLICATION	11/09/10		A-27

PLAN

SCALE: 0 10 25 50 FEET



LEVEL 31 - FENWICK TOWER 34'-1"0"

LEGEND

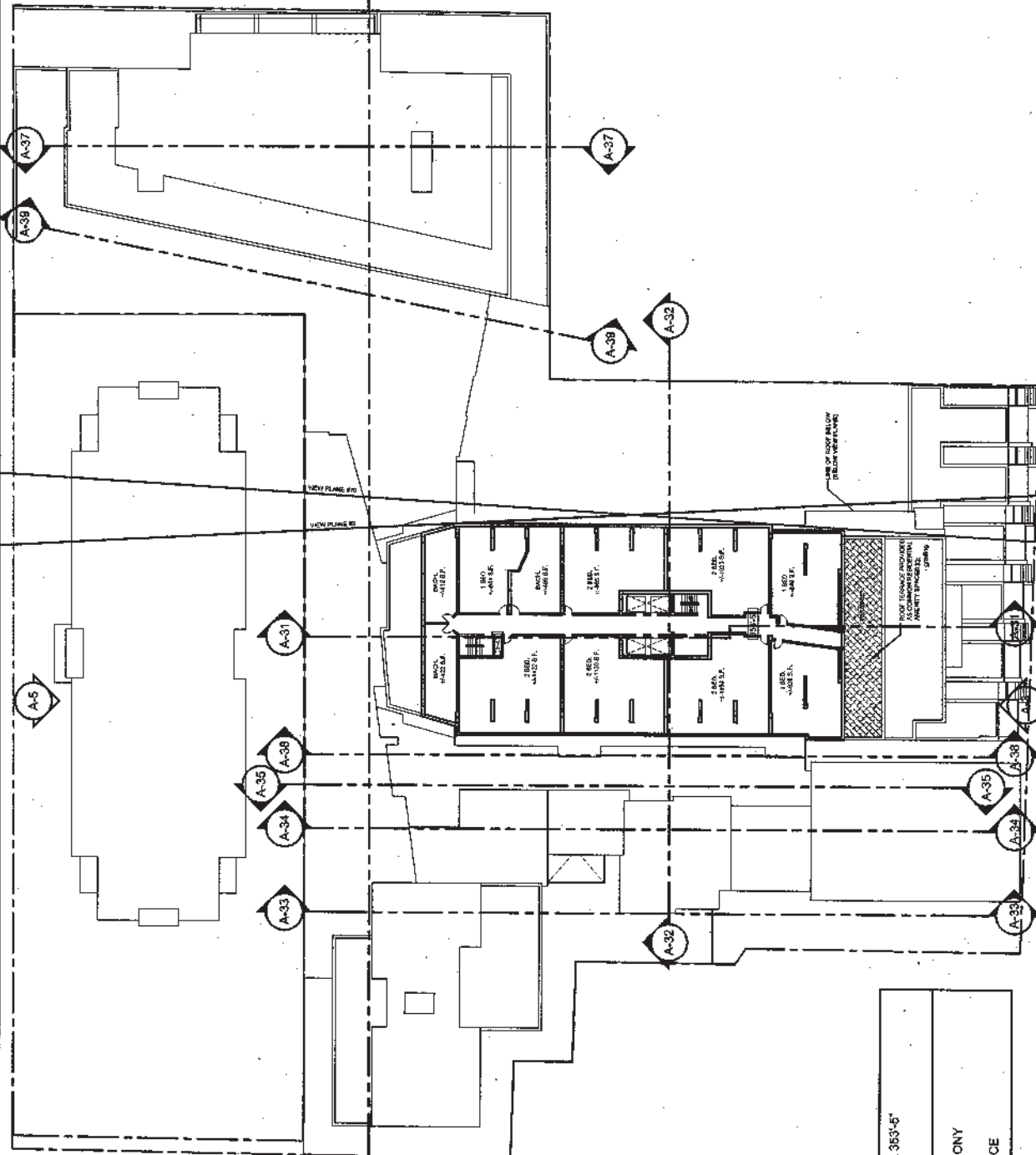
- ▨ PRIVATE TERRACE/BALCONY
- ▨ COMMERCIAL
- ▨ LANDSCAPED OPEN SPACE

**ARCHITECTURE**

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

REVISIONS		DRAWING		DATE	
NO.	REVISION NAME	DATE	PLAN	DATE	DRAWING NO.
1.	ISSUED FOR DEVELOPMENT APPLICATION	07/20/08	PLAN	DEC 08	A-28
2.	REVISION TO EX. APPLICATION				
3.	REVISION TO EX. APPLICATION				
4.	REVISION TO EX. APPLICATION				
5.	REVISION TO EX. APPLICATION				

SCALE: 0 10 25 50 FEET



LEVEL 32 - FENWICK TOWER 363'-6"

**LEGEND**

- ▣ PRIVATE TERRACE/BALCONY
- ▣ COMMERCIAL
- ▣ LANDSCAPED OPEN SPACE

REVISIONS		DRAWINGS		DATE	
NO.	DESCRIPTION	DATE	BY	DATE	BY
1	ISSUED FOR DEVELOPMENT APPLICATION (17/03/04)			DEC 08	
2	RETURNED TO C.A. APPLICATION (18/04/04)				
3	RETURNED TO C.A. APPLICATION (20/04/04)				
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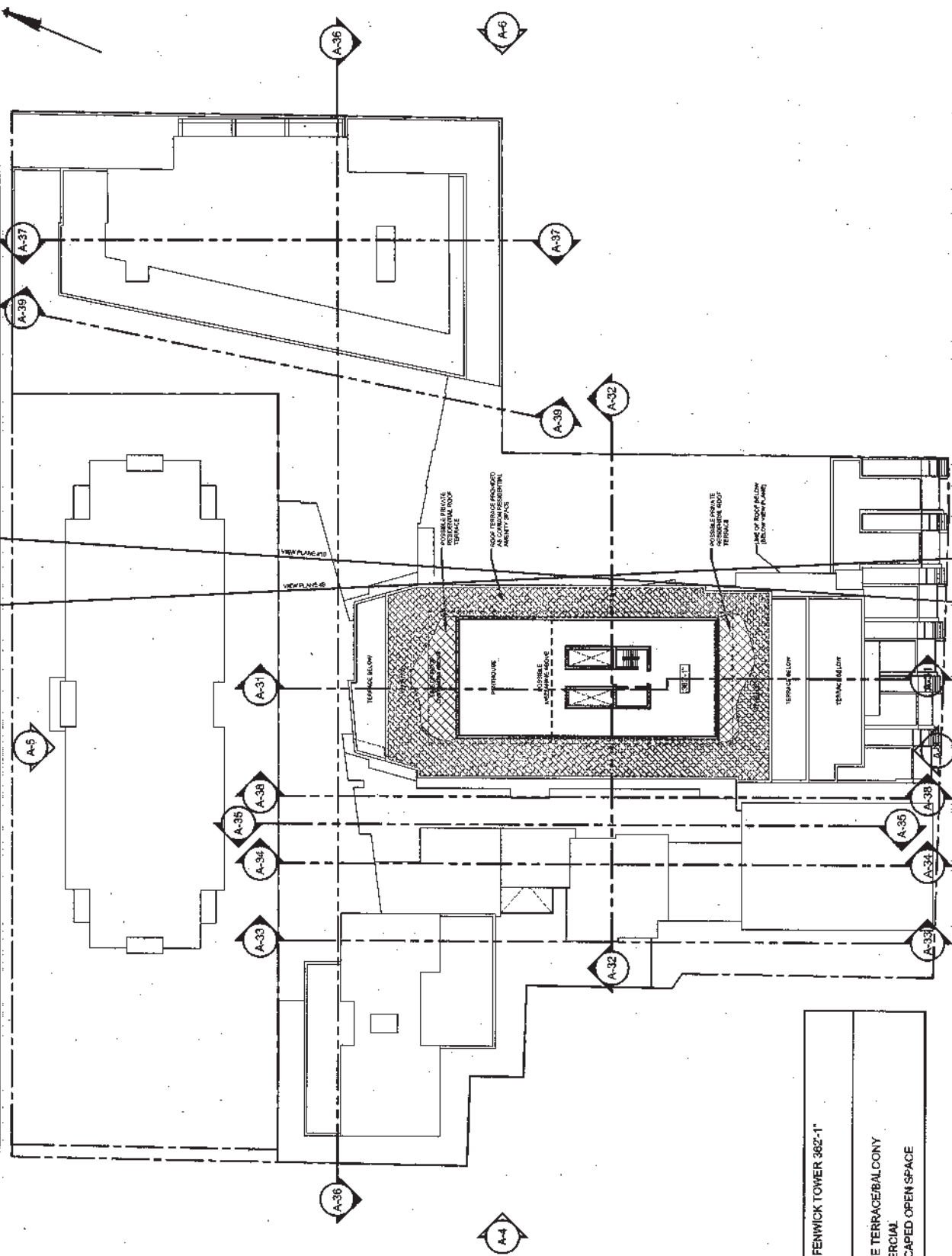
PLAN

SCALE: 0' 10' 25' 50' FEET

ARCHITECTURE

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

LEVEL 32 - FENWICK TOWER



LEVEL 33 - FENWICK TOWER 362'-1"

LEGEND

- PRIVATE TERRACE/BALCONY
- COMMERCIAL
- LANDSCAPED OPEN SPACE

**FENWICK SITE REDEVELOPMENT**  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**ARCHITECTURE**

REVISIONS		DATE
NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPER APPLICATION	07/20/10
2	REVISION TO A.A. APPLICATION	08/02/10
3	REVISION TO A.A. APPLICATION	08/02/10
4	REVISION TO A.A. APPLICATION	08/02/10
5	REVISION TO A.A. APPLICATION	08/02/10

**PLAN**

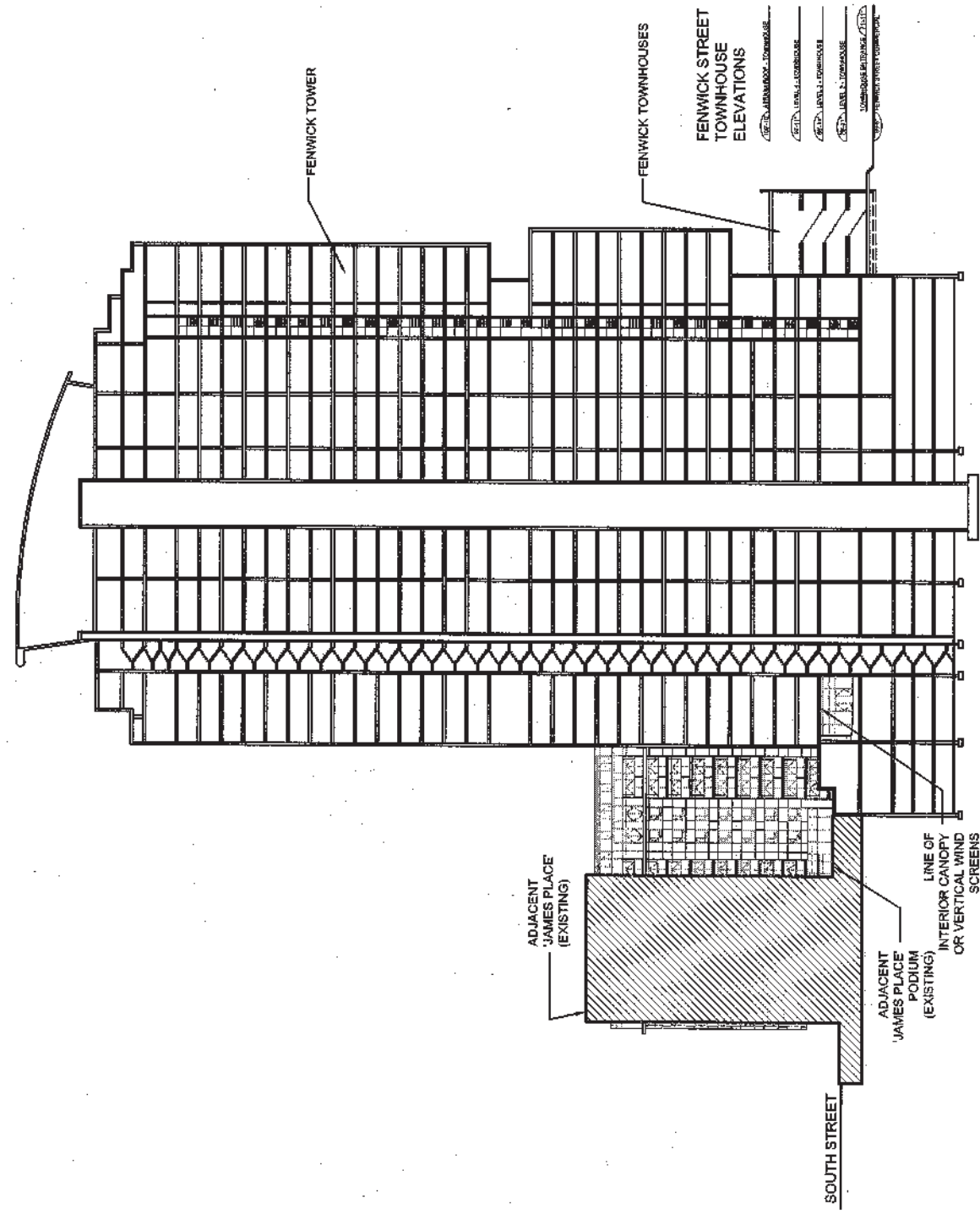
DATE: DEC 09

DRAWING NO: A-30

SCALE: 0 10 25 50 FEET

FENWICK ELEVATIONS

- SECTION 1. ELEVATION WINDOW
- SECTION 2. ELEVATION WINDOW
- SECTION 3. ELEVATION WINDOW
- SECTION 4. ELEVATION WINDOW
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- SECTION 98. ELEVATION WINDOW
- SECTION 99. ELEVATION WINDOW
- SECTION 100. ELEVATION WINDOW



DATE DEC 08  
DRAWING NO. A-31

SECTION  
SCALE 0 10 25 50 FEET

NO.	DESCRIPTION	DRAWN	CHECKED
1.	ISSUED FOR DEVELOPMENT ACQUISITION		
2.	REVISION TO D.A. APPLICATION		
3.	REVISION TO D.A. APPLICATION		
4.	REVISION TO D.A. APPLICATION		
5.	REVISION TO D.A. APPLICATION		
6.	REVISION TO D.A. APPLICATION		

ARCHITECTURE

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

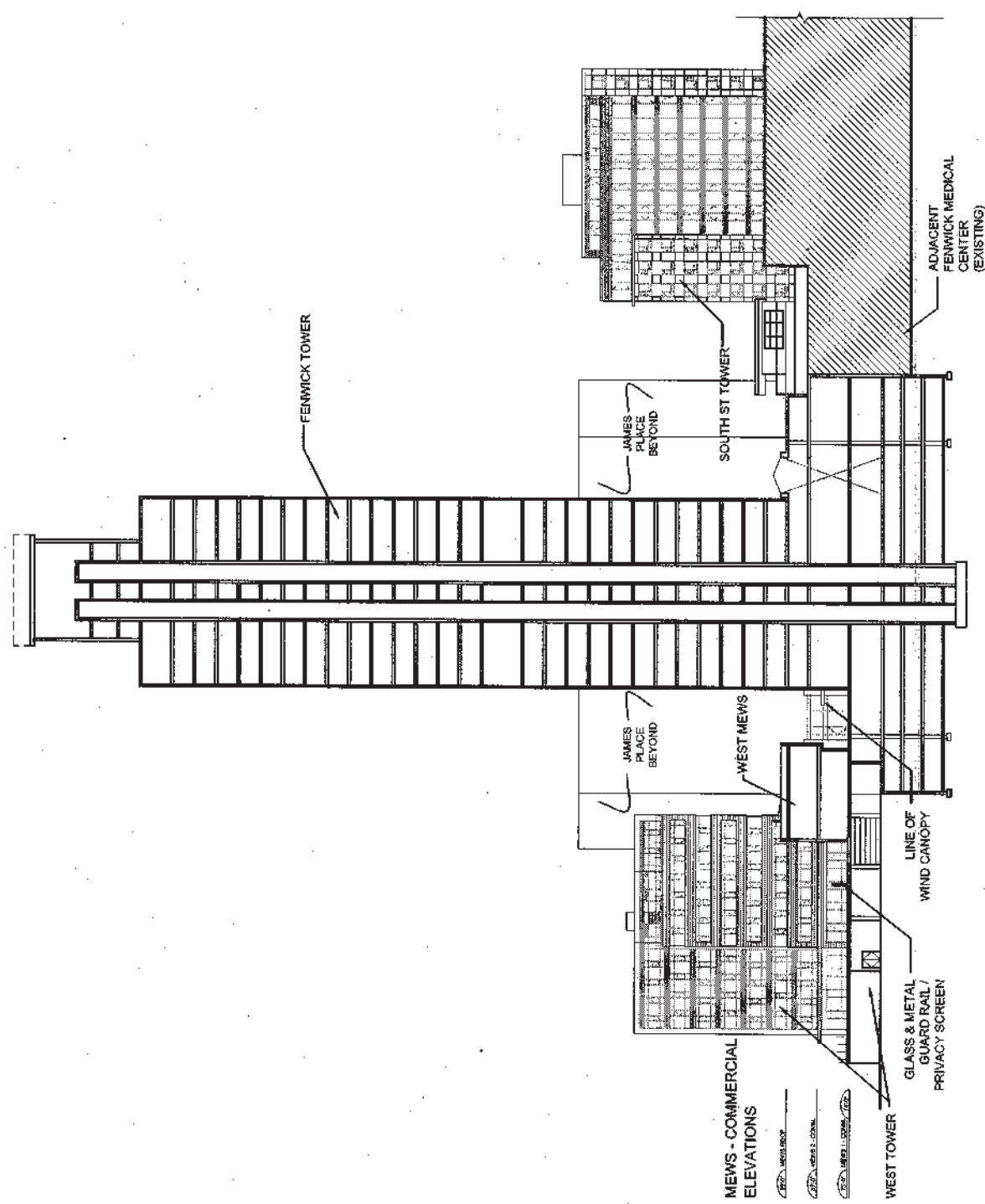
**BUILDING ELEVATIONS - HEIGHTS**  
FENWICK TOWNHOUSES  
FENWICK TOWER



FENWICK ELEVATIONS

6/23/2007

- 3777 - LEVEL 10 - RESIDENTIAL
- 3778 - LEVEL 9 - RESIDENTIAL
- 3779 - LEVEL 8 - RESIDENTIAL
- 3780 - LEVEL 7 - RESIDENTIAL
- 3781 - LEVEL 6 - RESIDENTIAL
- 3782 - LEVEL 5 - RESIDENTIAL
- 3783 - LEVEL 4 - RESIDENTIAL
- 3784 - LEVEL 3 - RESIDENTIAL
- 3785 - LEVEL 2 - RESIDENTIAL
- 3786 - LEVEL 1 - RESIDENTIAL
- 3787 - LEVEL 0 - RESIDENTIAL
- 3788 - LEVEL -1 - RESIDENTIAL
- 3789 - LEVEL -2 - RESIDENTIAL
- 3790 - LEVEL -3 - RESIDENTIAL
- 3791 - LEVEL -4 - RESIDENTIAL
- 3792 - LEVEL -5 - RESIDENTIAL
- 3793 - LEVEL -6 - RESIDENTIAL
- 3794 - LEVEL -7 - RESIDENTIAL
- 3795 - LEVEL -8 - RESIDENTIAL
- 3796 - LEVEL -9 - RESIDENTIAL
- 3797 - LEVEL -10 - RESIDENTIAL
- 3798 - LEVEL -11 - RESIDENTIAL
- 3799 - LEVEL -12 - RESIDENTIAL
- 3800 - LEVEL -13 - RESIDENTIAL
- 3801 - LEVEL -14 - RESIDENTIAL
- 3802 - LEVEL -15 - RESIDENTIAL
- 3803 - LEVEL -16 - RESIDENTIAL
- 3804 - LEVEL -17 - RESIDENTIAL
- 3805 - LEVEL -18 - RESIDENTIAL
- 3806 - LEVEL -19 - RESIDENTIAL
- 3807 - LEVEL -20 - RESIDENTIAL
- 3808 - LEVEL -21 - RESIDENTIAL
- 3809 - LEVEL -22 - RESIDENTIAL
- 3810 - LEVEL -23 - RESIDENTIAL
- 3811 - LEVEL -24 - RESIDENTIAL
- 3812 - LEVEL -25 - RESIDENTIAL
- 3813 - LEVEL -26 - RESIDENTIAL
- 3814 - LEVEL -27 - RESIDENTIAL
- 3815 - LEVEL -28 - RESIDENTIAL
- 3816 - LEVEL -29 - RESIDENTIAL
- 3817 - LEVEL -30 - RESIDENTIAL
- 3818 - LEVEL -31 - RESIDENTIAL
- 3819 - LEVEL -32 - RESIDENTIAL
- 3820 - LEVEL -33 - RESIDENTIAL
- 3821 - LEVEL -34 - RESIDENTIAL
- 3822 - LEVEL -35 - RESIDENTIAL
- 3823 - LEVEL -36 - RESIDENTIAL
- 3824 - LEVEL -37 - RESIDENTIAL
- 3825 - LEVEL -38 - RESIDENTIAL
- 3826 - LEVEL -39 - RESIDENTIAL
- 3827 - LEVEL -40 - RESIDENTIAL
- 3828 - LEVEL -41 - RESIDENTIAL
- 3829 - LEVEL -42 - RESIDENTIAL
- 3830 - LEVEL -43 - RESIDENTIAL
- 3831 - LEVEL -44 - RESIDENTIAL
- 3832 - LEVEL -45 - RESIDENTIAL
- 3833 - LEVEL -46 - RESIDENTIAL
- 3834 - LEVEL -47 - RESIDENTIAL
- 3835 - LEVEL -48 - RESIDENTIAL
- 3836 - LEVEL -49 - RESIDENTIAL
- 3837 - LEVEL -50 - RESIDENTIAL
- 3838 - LEVEL -51 - RESIDENTIAL
- 3839 - LEVEL -52 - RESIDENTIAL
- 3840 - LEVEL -53 - RESIDENTIAL
- 3841 - LEVEL -54 - RESIDENTIAL
- 3842 - LEVEL -55 - RESIDENTIAL
- 3843 - LEVEL -56 - RESIDENTIAL
- 3844 - LEVEL -57 - RESIDENTIAL
- 3845 - LEVEL -58 - RESIDENTIAL
- 3846 - LEVEL -59 - RESIDENTIAL
- 3847 - LEVEL -60 - RESIDENTIAL
- 3848 - LEVEL -61 - RESIDENTIAL
- 3849 - LEVEL -62 - RESIDENTIAL
- 3850 - LEVEL -63 - RESIDENTIAL
- 3851 - LEVEL -64 - RESIDENTIAL
- 3852 - LEVEL -65 - RESIDENTIAL
- 3853 - LEVEL -66 - RESIDENTIAL
- 3854 - LEVEL -67 - RESIDENTIAL
- 3855 - LEVEL -68 - RESIDENTIAL
- 3856 - LEVEL -69 - RESIDENTIAL
- 3857 - LEVEL -70 - RESIDENTIAL
- 3858 - LEVEL -71 - RESIDENTIAL
- 3859 - LEVEL -72 - RESIDENTIAL
- 3860 - LEVEL -73 - RESIDENTIAL
- 3861 - LEVEL -74 - RESIDENTIAL
- 3862 - LEVEL -75 - RESIDENTIAL
- 3863 - LEVEL -76 - RESIDENTIAL
- 3864 - LEVEL -77 - RESIDENTIAL
- 3865 - LEVEL -78 - RESIDENTIAL
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- 3869 - LEVEL -82 - RESIDENTIAL
- 3870 - LEVEL -83 - RESIDENTIAL
- 3871 - LEVEL -84 - RESIDENTIAL
- 3872 - LEVEL -85 - RESIDENTIAL
- 3873 - LEVEL -86 - RESIDENTIAL
- 3874 - LEVEL -87 - RESIDENTIAL
- 3875 - LEVEL -88 - RESIDENTIAL
- 3876 - LEVEL -89 - RESIDENTIAL
- 3877 - LEVEL -90 - RESIDENTIAL
- 3878 - LEVEL -91 - RESIDENTIAL
- 3879 - LEVEL -92 - RESIDENTIAL
- 3880 - LEVEL -93 - RESIDENTIAL
- 3881 - LEVEL -94 - RESIDENTIAL
- 3882 - LEVEL -95 - RESIDENTIAL
- 3883 - LEVEL -96 - RESIDENTIAL
- 3884 - LEVEL -97 - RESIDENTIAL
- 3885 - LEVEL -98 - RESIDENTIAL
- 3886 - LEVEL -99 - RESIDENTIAL
- 3887 - LEVEL -100 - RESIDENTIAL



DATE DEC 08  
DRAWING NO. A-32

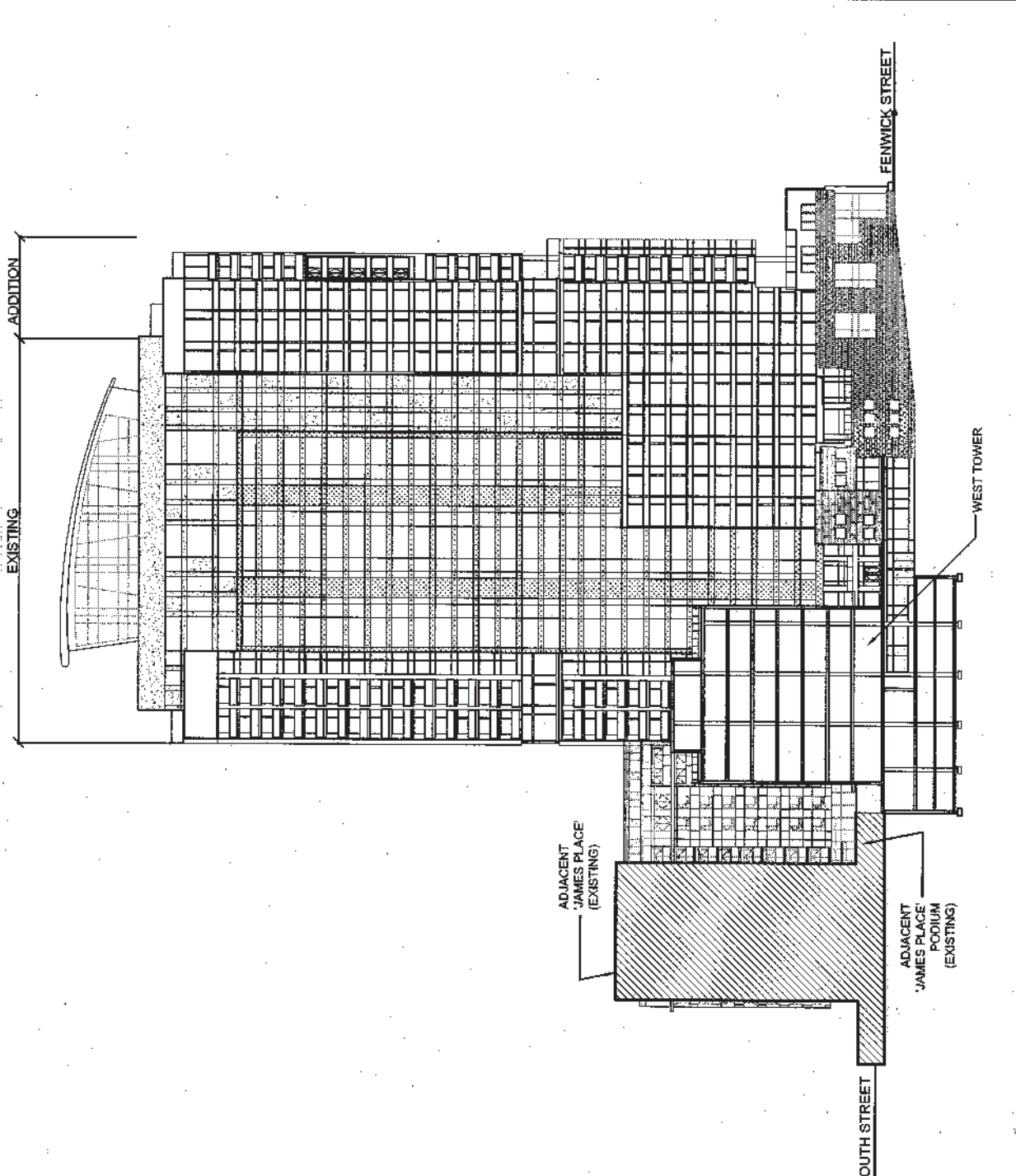
SECTION  
SCALE 0 10 25 50 FEET

NO.	REVISIONS	DATE
1	ISSUED FOR DEVELOPMENT APPROBATION	11/06/07
2	REVISION TO O.A. APPLICATION	11/06/07
3	REVISION TO O.A. APPLICATION	11/06/07
4	REVISION TO O.A. APPLICATION	11/06/07
5	REVISION TO O.A. APPLICATION	11/06/07
6	REVISION TO O.A. APPLICATION	11/06/07
7	REVISION TO O.A. APPLICATION	11/06/07

ARCHITECTURE

FENWICK SITE REDEVELOPMENT  
PID # 41080735  
HALIFAX, NOVA SCOTIA

**BUILDING ELEVATIONS - HEIGHTS**  
WEST TOWER  
FENWICK TOWER  
WEST MEWS  
SOUTH ST TOWER



**WEST TOWER ELEVATIONS**

- 1. LEVEL 1
- 2. LEVEL 2
- 3. LEVEL 3
- 4. LEVEL 4
- 5. LEVEL 5
- 6. LEVEL 6
- 7. LEVEL 7
- 8. LEVEL 8
- 9. LEVEL 9
- 10. LEVEL 10
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- 56. LEVEL 56
- 57. LEVEL 57
- 58. LEVEL 58
- 59. LEVEL 59
- 60. LEVEL 60

**BUILDING ELEVATIONS - HEIGHTS**

WEST TOWER

FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



ARCHITECTURE

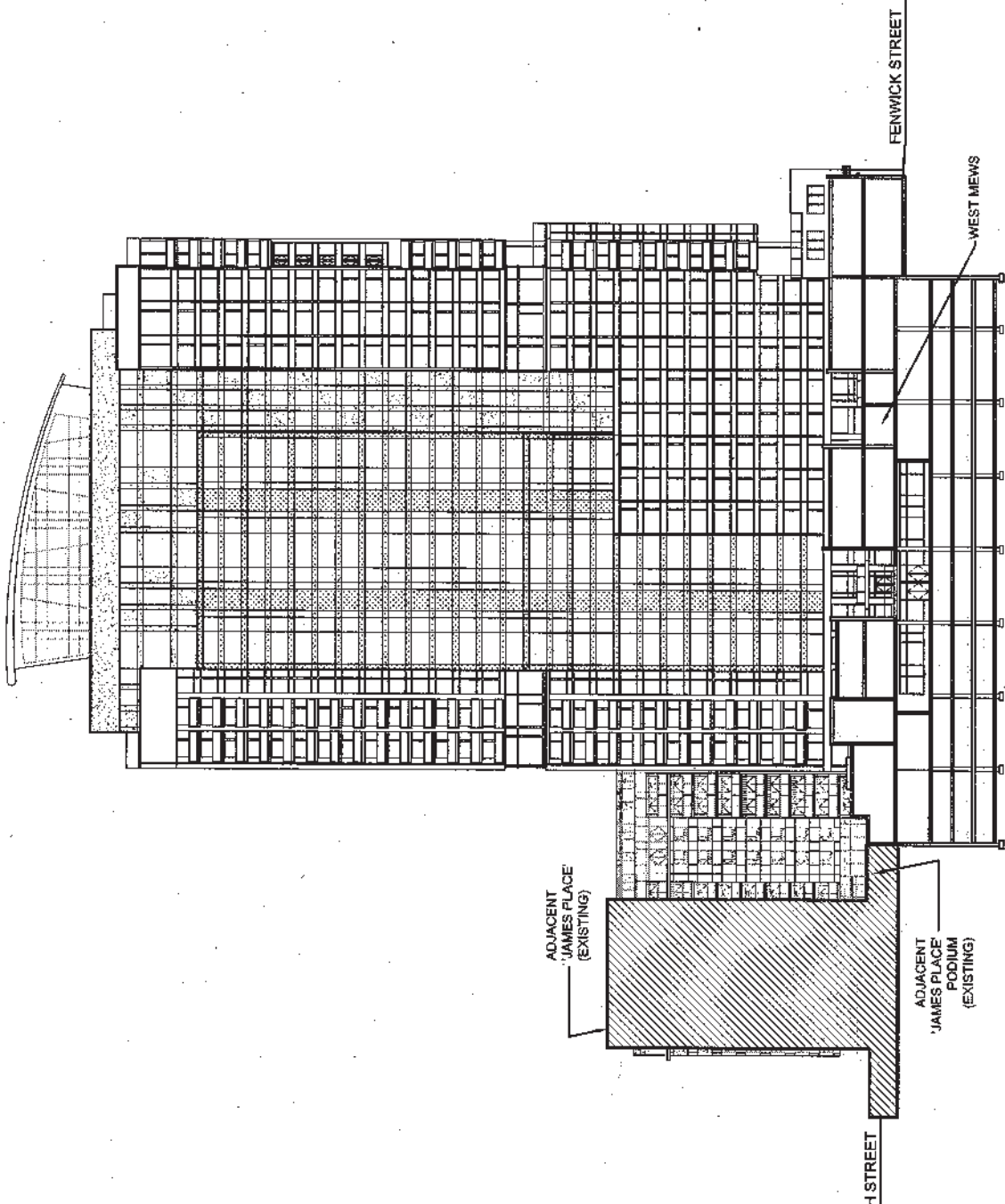
REVISIONS		DATE
NO.	DESCRIPTION	
1	ISSUED FOR DEVELOPMENT REPRESENTATIVE	DEC 09
2	REVISION TO DA APPLICATION	
3	REVISION TO DA APPLICATION	
4	REVISION TO DA APPLICATION	
5	REVISION TO DA APPLICATION	
6	REVISION TO DA APPLICATION	

DRAWING NO. **A-33**

SECTION

SCALE: 1" = 25'-0"

DATE: DEC 09



MEWS - COMMERCIAL ELEVATIONS

- ① FINISH GRADE
- ② FINISH GRADE
- ③ FINISH GRADE
- ④ FINISH GRADE
- ⑤ FINISH GRADE
- ⑥ FINISH GRADE
- ⑦ FINISH GRADE
- ⑧ FINISH GRADE

# BUILDING ELEVATIONS - HEIGHTS

WEST MEWS - WEST ELEVATION

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA



ARCHITECTURE

NO.	REVISIONS	DATE
1.	REVISION TO A. REVISION	1/16/00
2.	REVISION TO A. REVISION	2/16/00
3.	REVISION TO A. REVISION	3/16/00
4.	REVISION TO A. REVISION	4/16/00
5.	REVISION TO A. REVISION	5/16/00
6.	REVISION TO A. REVISION	6/16/00
7.	REVISION TO A. REVISION	7/16/00
8.	REVISION TO A. REVISION	8/16/00

SECTION

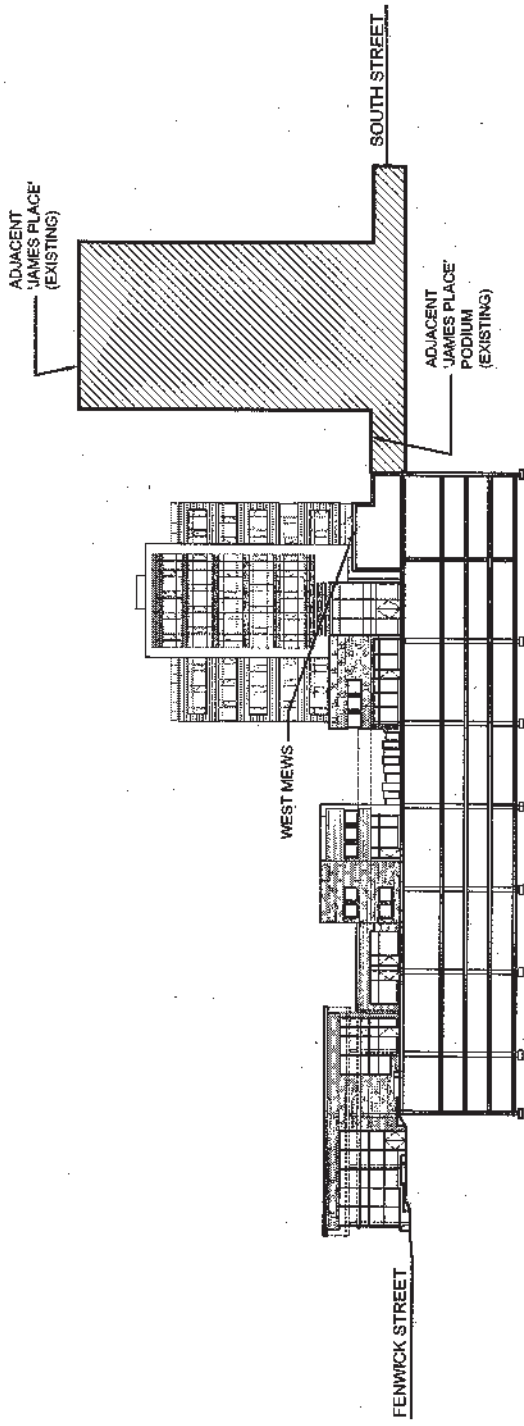
DATE

DEC 09

DRAWING NO.

A-34





**MEWS - COMMERCIAL ELEVATIONS**

- MEWS - COMMERCIAL ELEVATION
- MEWS - COMMERCIAL ELEVATION
- MEWS - COMMERCIAL ELEVATION
- MEWS - COMMERCIAL ELEVATION
- MEWS - COMMERCIAL ELEVATION
- MEWS - COMMERCIAL ELEVATION

DATE: DEC 09  
DRAWING NO.: A-35



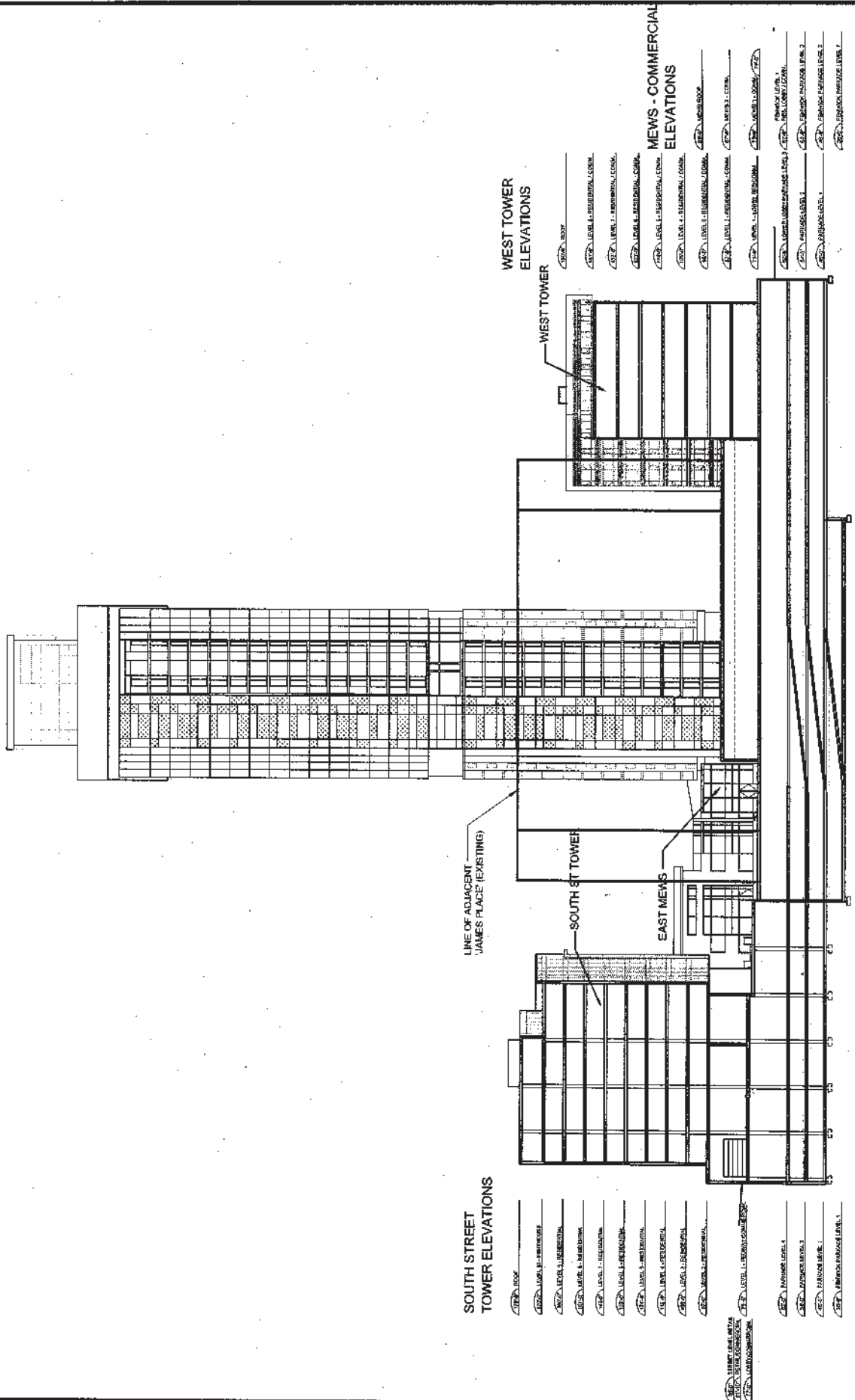
NO.	REVISION	DATE
1.	ISSUED FOR DEVELOPMENT AGREEMENT	1/1/09
2.	REVISION TO D.A. APPLICATION	1/1/09
3.	REVISION TO D.A. APPLICATION	1/1/09
4.	REVISION TO D.A. APPLICATION	1/1/09
5.	REVISION TO D.A. APPLICATION	1/1/09

ARCHITECTURE



FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**BUILDING ELEVATIONS - HEIGHTS**  
WEST MEWS - EAST ELEVATION



**BUILDING ELEVATIONS - HEIGHTS**

SOUTH ST TOWER  
WEST TOWER  
EAST MEWS

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

ARCHITECTURE

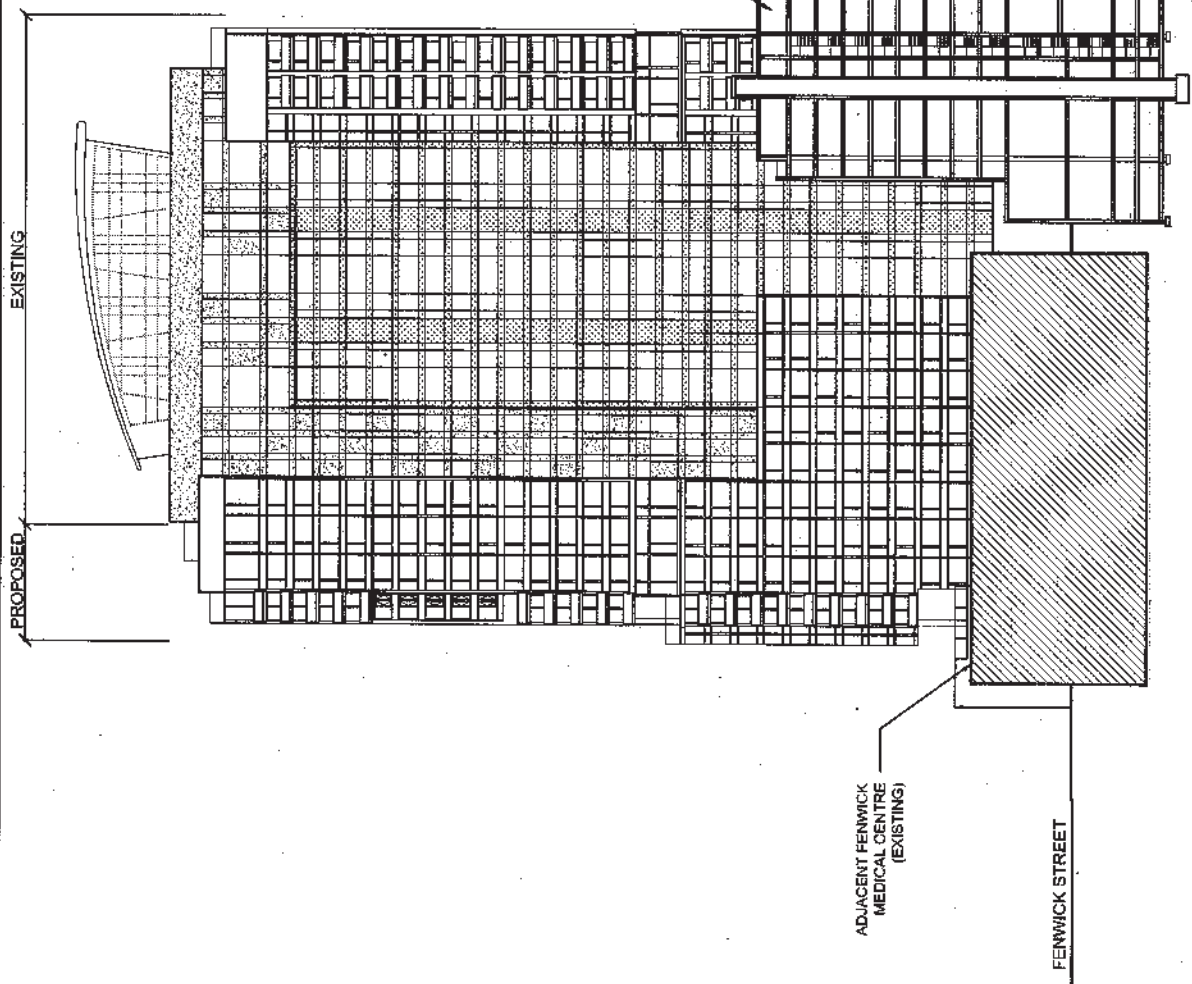
NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT/REDEVELOPMENT ASSESSMENT	12/15/2009
2	REVISION TO O.A. APPLICATION	1/14/10
3	REVISION TO O.A. APPLICATION	2/10/10
4	REVISION TO O.A. APPLICATION	3/10/10
5	REVISION TO O.A. APPLICATION	4/10/10
6	REVISION TO O.A. APPLICATION	11/10/10

SECTION

SCALE: 1" = 10' 25" 50' FEET

DATE: DEC 09

DRAWING NO.: A-36



**SOUTH STREET  
TOWER ELEVATIONS**

- LEVEL 1
- LEVEL 2
- LEVEL 3
- LEVEL 4
- LEVEL 5
- LEVEL 6
- LEVEL 7
- LEVEL 8
- LEVEL 9
- LEVEL 10
- LEVEL 11
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- LEVEL 98
- LEVEL 99
- LEVEL 100

DATE: DEC 08  
DRAWING NO.: A-37

SECTION		DATE
SOUTH STREET		DEC 08
DRAWING NO.		A-37
SCALE		0 10 25 50 FEET

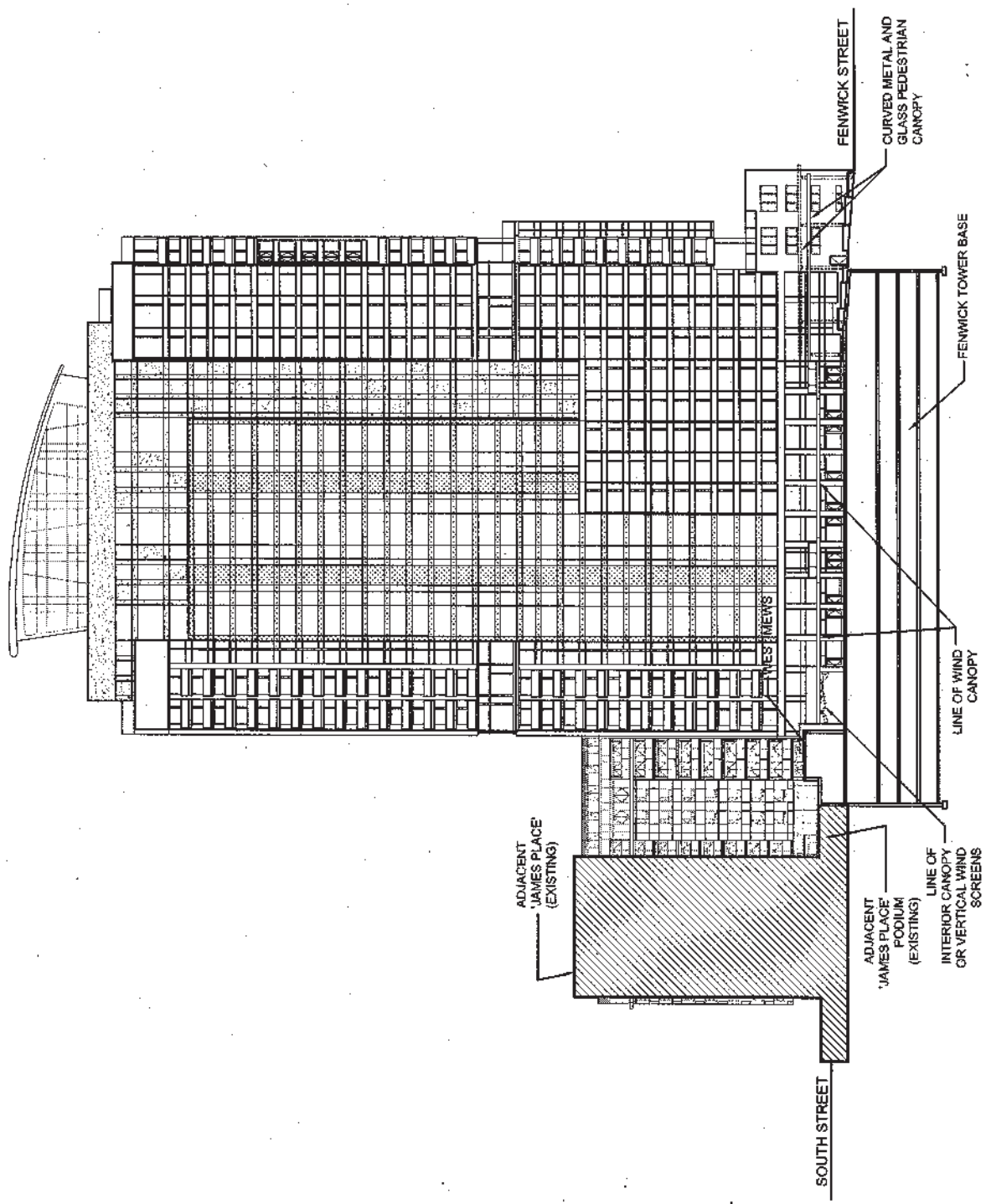
NO.	REVISIONS	DATE
1.	ISSUED FOR DEVELOPMENT AGREEMENT	11/10/08
2.	REVISION TO D.A. APPLICATION	11/10/08
3.	REVISION TO D.A. APPLICATION	11/10/08
4.	REVISION TO D.A. APPLICATION	11/10/08

ARCHITECTURE



FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**BUILDING ELEVATIONS - HEIGHTS**  
SOUTH ST TOWER



MEWS - COMMERCIAL ELEVATIONS

- MEWS BODY
- MEWS LOGGIA
- MEWS CORNER
- MEWS BALCONY
- MEWS TERRACE LEVEL
- MEWS JACOBI LEVEL
- MEWS JACOBI LEVEL

**BUILDING ELEVATIONS - HEIGHTS**

WEST MEWS  
FENWICK TOWER BASE

FENWICK SITE REDEVELOPMENT  
PID # 41030736  
HALIFAX, NOVA SCOTIA



ARCHITECTURE

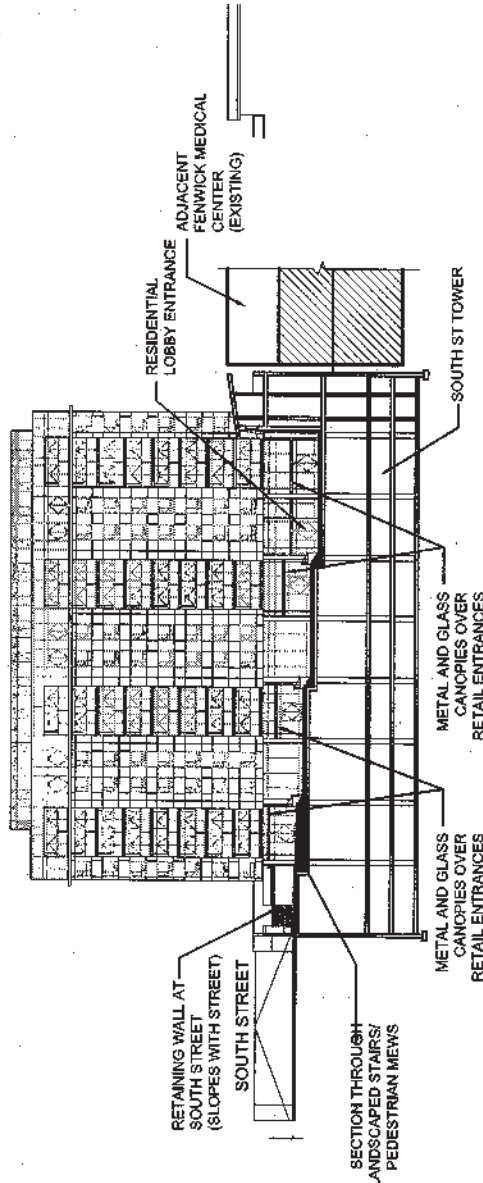
REVISIONS		DATE
NO.	REVISION	DATE
1.	ISSUED FOR DEVELOPMENT APPROVAL	11/20/08
2.	REVISION TO A.A. APPLICATION	12/01/08
3.	REVISION TO A.A. APPLICATION	12/01/08
4.	REVISION TO A.A. APPLICATION	12/01/08
5.	REVISION TO A.A. APPLICATION	12/01/08

SECTION  
SCALE  
0 10 25 50  
FEET

DATE  
DEC 08  
DRAWING NO.  
A-38

**SOUTH STREET  
TOWER ELEVATIONS**

- 1. 1/2" = 1'-0" ARCHITECTURAL
- 2. 1/4" = 1'-0" ARCHITECTURAL
- 3. 1/8" = 1'-0" ARCHITECTURAL
- 4. 1/16" = 1'-0" ARCHITECTURAL
- 5. 1/32" = 1'-0" ARCHITECTURAL
- 6. 1/64" = 1'-0" ARCHITECTURAL
- 7. 1/128" = 1'-0" ARCHITECTURAL
- 8. 1/256" = 1'-0" ARCHITECTURAL
- 9. 1/512" = 1'-0" ARCHITECTURAL
- 10. 1/1024" = 1'-0" ARCHITECTURAL
- 11. 1/2048" = 1'-0" ARCHITECTURAL
- 12. 1/4096" = 1'-0" ARCHITECTURAL
- 13. 1/8192" = 1'-0" ARCHITECTURAL
- 14. 1/16384" = 1'-0" ARCHITECTURAL
- 15. 1/32768" = 1'-0" ARCHITECTURAL
- 16. 1/65536" = 1'-0" ARCHITECTURAL
- 17. 1/131072" = 1'-0" ARCHITECTURAL
- 18. 1/262144" = 1'-0" ARCHITECTURAL
- 19. 1/524288" = 1'-0" ARCHITECTURAL
- 20. 1/1048576" = 1'-0" ARCHITECTURAL



**BUILDING ELEVATIONS - HEIGHTS**

SOUTH ST TOWER (WEST ELEVATION)

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA



ARCHITECTURE

NO.	REVISIONS	DATE
1.	ISSUED FOR PERMIT APPLICATION	12/11/09
2.	REVISION TO D.A. APPLICATION	03/04/10
3.	REVISION TO D.A. APPLICATION	03/04/10
4.	REVISION TO D.A. APPLICATION	03/04/10
5.	REVISION TO D.A. APPLICATION	03/04/10
6.	REVISION TO D.A. APPLICATION	03/04/10

DRAWING NO. SECTION

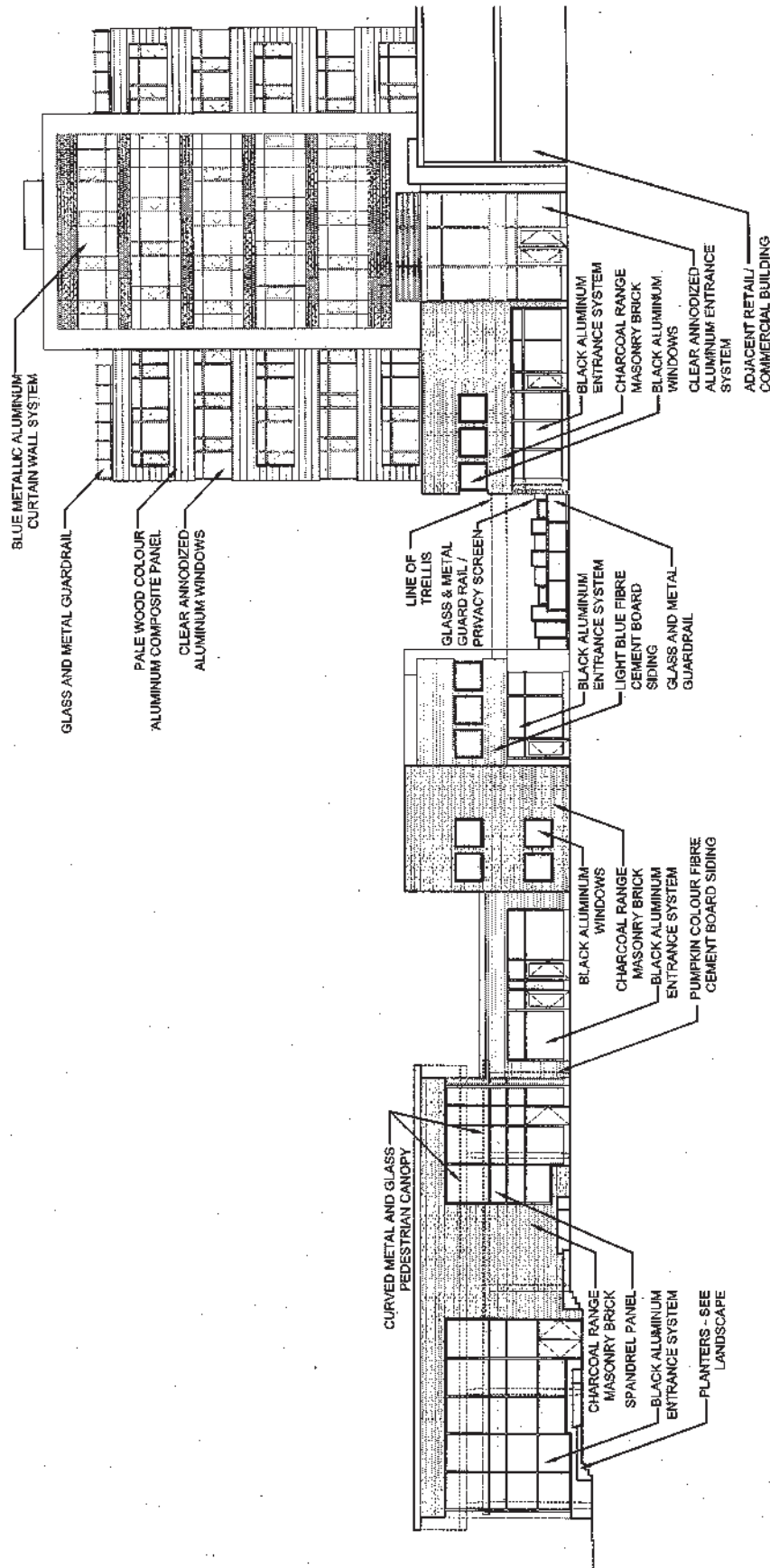
DATE DEC 09

DRAWING NO. A-39

SCALE 0' = 1" 25' 50'

FEET





**DETAILED PEDESTRIAN LEVEL  
ELEVATIONS - MATERIALS**

WEST MEWS (EAST ELEVATION)

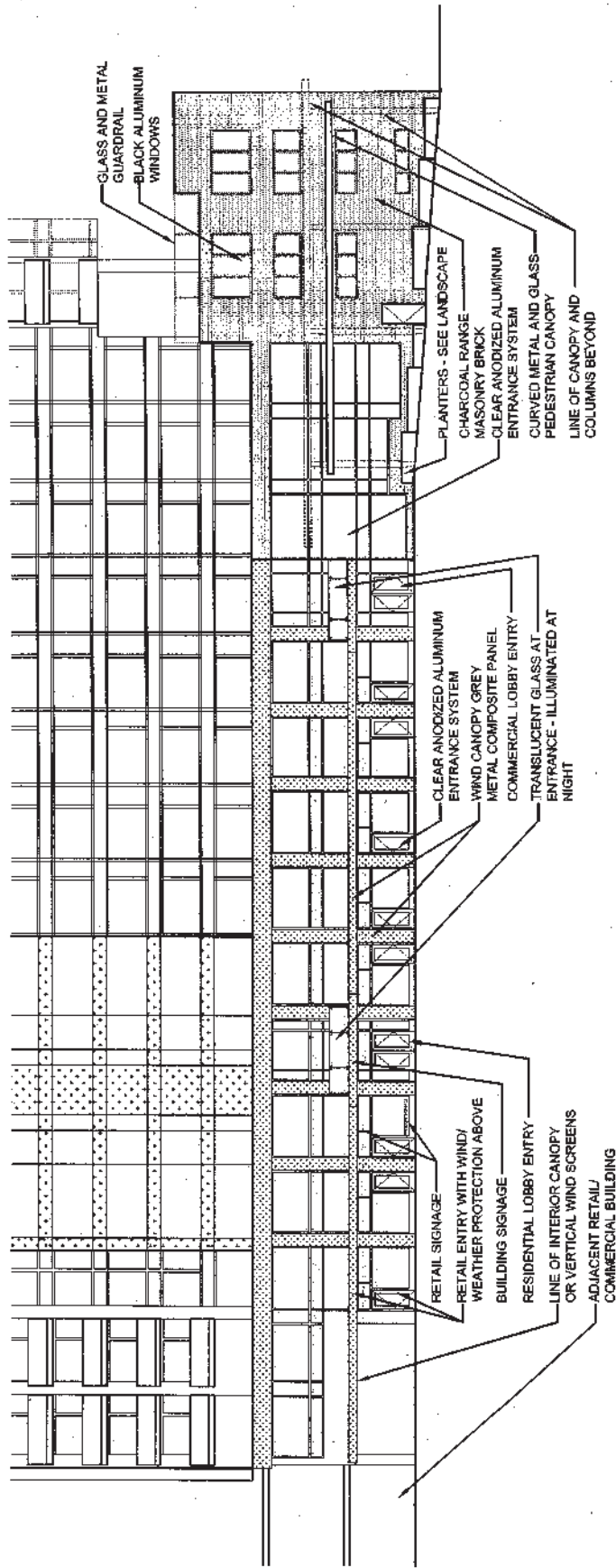
**FENWICK SITE REDEVELOPMENT**  
PID # 41030735



ARCHITECTURE

REVISIONS		DATE
NO.	DESCRIPTION	DATE
1.	REWORK TO O.A. APPLICATION	11/08/08
2.	REWORK TO O.A. APPLICATION	11/08/08

DRAWING NO. **A-40**  
 DATE **DEC 08**  
 PARTIAL ELEVATION - PEDESTRIAN MEWS TYP. MATERIAL - PALETTE  
 SCALE: SEE BAR SCALE ABOVE



DRAWING		DATE
PARTIAL ELEVATION - FENWICK TOWER TYP. MATERIAL PALETTE		DEC 09
DRAWING NO.		A-41

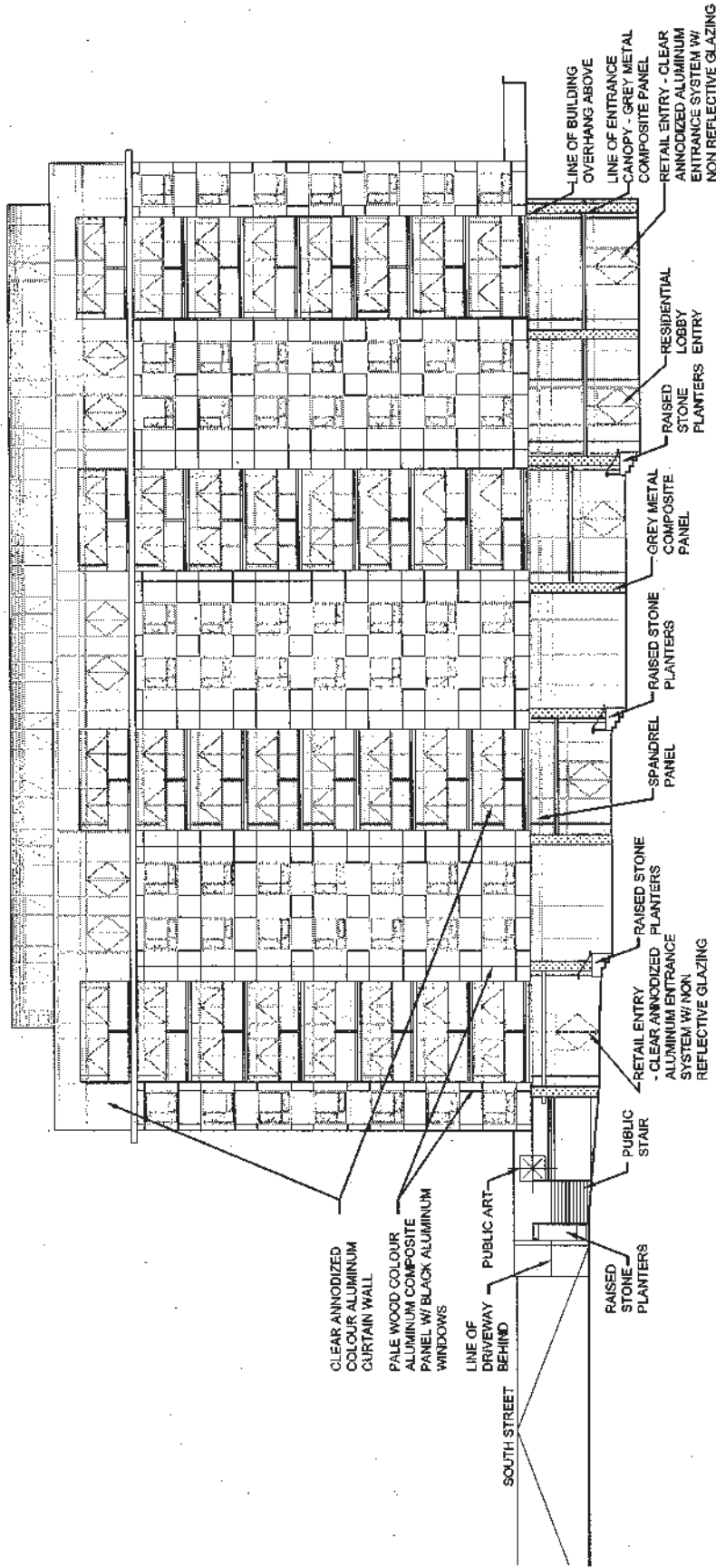
  

REVISIONS		SCALE
NO.	DESCRIPTION	SCALE
1.	REVISION TO D.A. APPLICATION	SEE BAR SCALE ABOVE
2.	REVISION TO D.A. APPLICATION	
3.	REVISION TO D.A. APPLICATION	



FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

**DETAILED PEDESTRIAN LEVEL ELEVATIONS - MATERIALS**  
 WEST ELEVATIONS - FENWICK TOWER & FENWICK TOWNHOUSES



CLEAR ANNOZIZED  
COLOUR ALUMINIUM  
CURTAIN WALL

PALE WOOD COLOUR  
ALUMINIUM COMPOSITE  
PANEL W/ BLACK ALUMINIUM  
WINDOWS

LINE OF  
DRIVEWAY  
BEHIND

PUBLIC ART

PUBLIC STAIR

RAISED  
STONE  
PLANTERS

SOUTH STREET

LINE OF BUILDING  
OVERHANG ABOVE

LINE OF ENTRANCE  
CANOPY - GREY METAL  
COMPOSITE PANEL

RETAIL ENTRY - CLEAR  
ANNOZIZED ALUMINIUM  
ENTRANCE SYSTEM W/  
NON REFLECTIVE GLAZING

RESIDENTIAL  
LOBBY  
ENTRY

RAISED STONE  
PLANTERS

SPANDREL  
PANEL

RAISED STONE  
PLANTERS

RETAIL ENTRY  
- CLEAR ANNOZIZED  
ALUMINIUM ENTRANCE  
SYSTEM W/ NON  
REFLECTIVE GLAZING



**DETAILED PEDESTRIAN LEVEL  
ELEVATIONS - MATERIALS**

SOUTH TOWER - WEST ELEVATION

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA



ARCHITECTURE

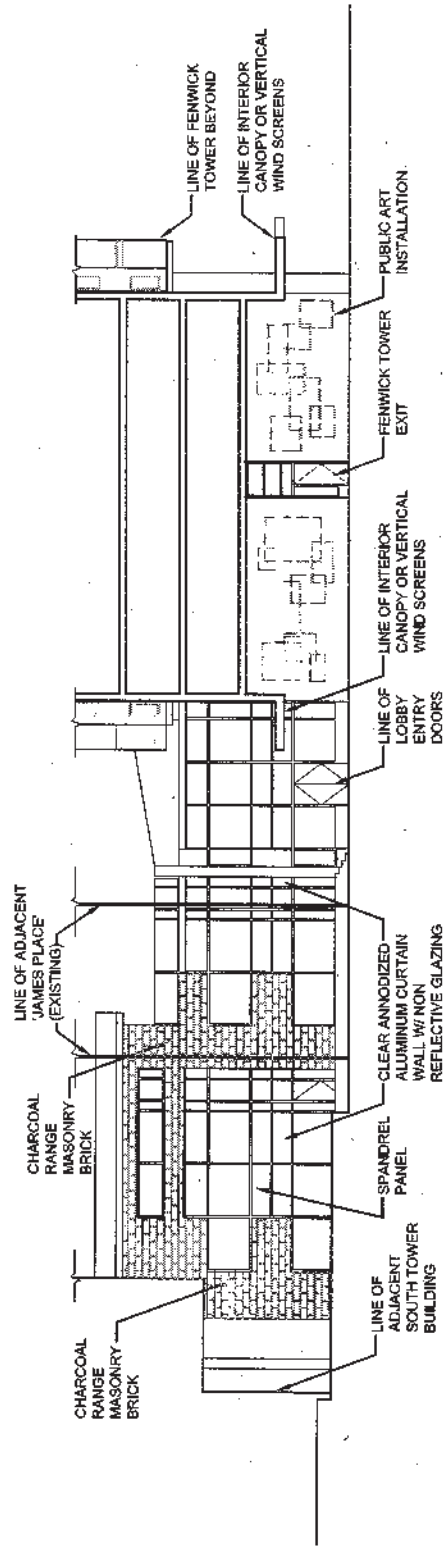
REVISIONS		DATE
NO.	DESCRIPTION	
1.	REVISION TO D.A. APPROVAL	11/06/09

PROJECT: DETAILED PEDESTRIAN LEVEL ELEVATION - MATERIALS SOUTH ST. TOWER

DATE: DEC 09

DRAWING NO: A-42

SCALE: SEE BAR SCALE ABOVE



**DETAILED PEDESTRIAN LEVEL ELEVATIONS - MATERIALS**

EAST MEWS - NORTH ELEVATION

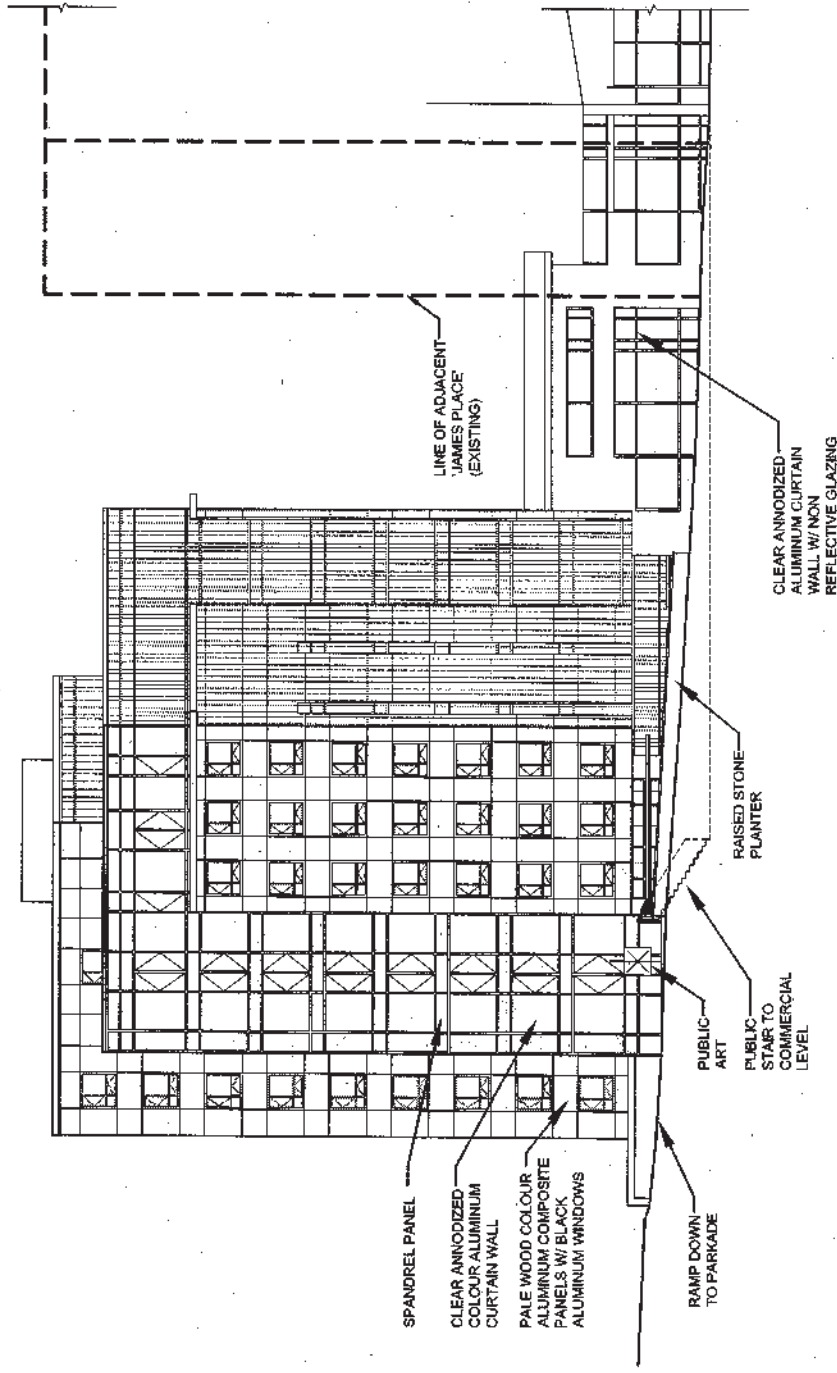
FENWICK SITE REDEVELOPMENT  
 PID # 41080735  
 HALIFAX, NOVA SCOTIA

ARCHITECTURE

NO.	REVISIONS	DATE	BY	CHECK
1.	REVISION TO D.A. APPLICATION			
2.	REVISION TO D.A. APPLICATION			
3.				
4.				
5.				

SCALE  
 SEE BAR SCALE ABOVE

DATE  
 DEC 09  
 DRAWING NO.  
 A-43



**DETAILED PEDESTRIAN LEVEL  
ELEVATIONS - MATERIALS**  
SOUTH TOWER - NORTH ELEVATION

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
1/A SCOTIA

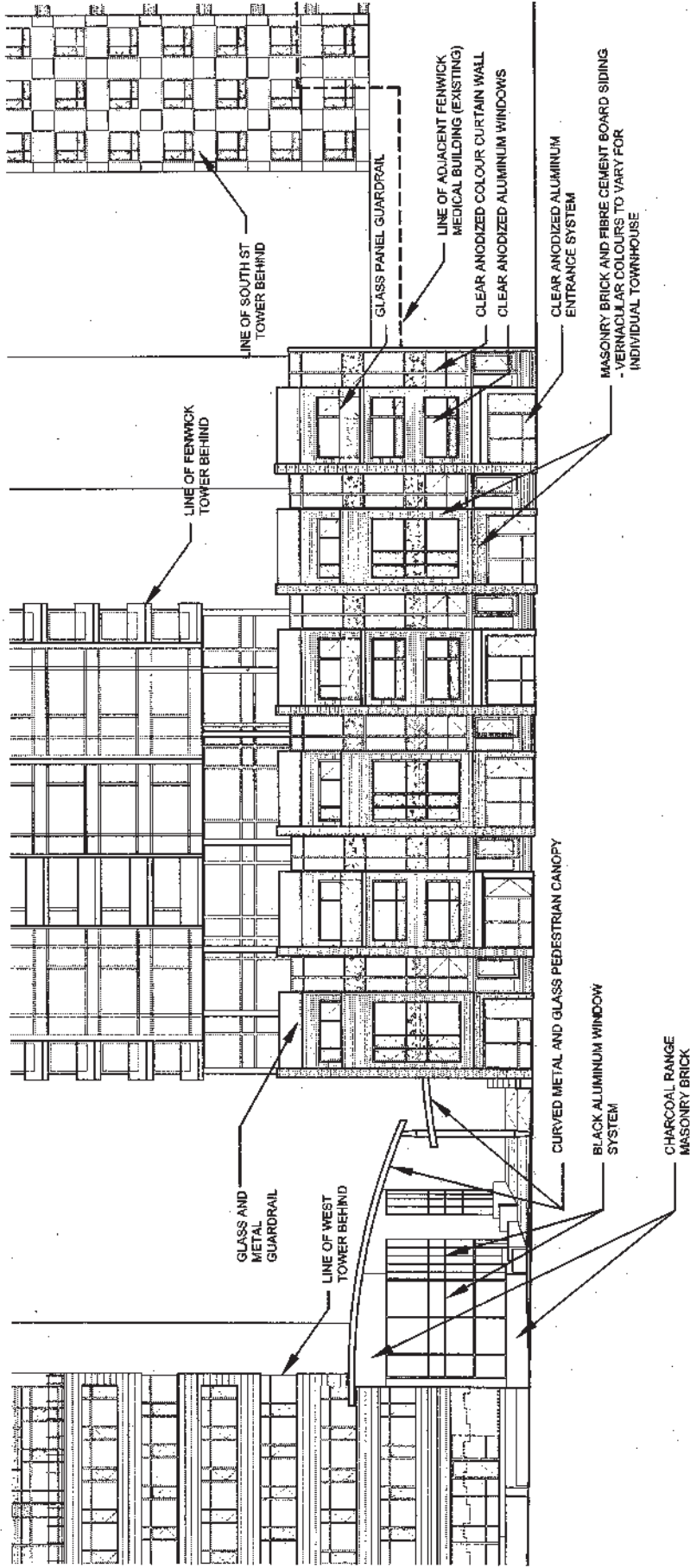


ARCHITECTURE

REVISIONS		DATE
NO.	DESCRIPTION	
1	ISSUED TO D.L. APPLICATION	DEC 08
2	ISSUED TO D.L. APPLICATION	

PROJECT NO.	DATE
PROJECT NAME	SCALE
CLIENT	SEE BAR SCALE ABOVE
DRAWING NO.	A-44



# DETAILED PEDESTRIAN LEVEL ELEVATIONS - MATERIALS

FENWICK STREET TOWNHOUSES

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA



ARCHITECTURE

NO.	REVISION	DATE

DRAWING TITLE: DETAILED PEDESTRIAN LVL ELEVATION - MATERIALS  
 PROJECT: FENWICK ST TOWNHOUSES  
 SCALE: SEE BAR SCALE ABOVE  
 DATE: DEC 09  
 DRAWING NO.: A-45

**EXTERIOR PROJECT LIGHTING:**

1. LOW LEVEL THEATRE STYLE LIGHTS AT PEDESTRIAN RAMPS AND STAIRS
2. FENWICK STREET TOWNHOUSE RETAIL TO HAVE ILLUMINATED AND STORE FRONT WINDOW SIGNAGE.
3. ILLUMINATED FENWICK TOWER PENTHOUSE 'LANTERN' AS MAJOR NIGHT PROJECT ICON - NON-COLOURED
4. MINIMAL SPOT LIGHTING TO BE USED WITH NO EMPHASIS ON UPLIGHT WALL WASH EFFECTS.
5. 'DARK SKY' LIGHT FIXTURES TO BE INCORPORATED.
6. FENWICK RESIDENTIAL AND COMMERCIAL ENTRANCE LOBBIES TO HAVE ILLUMINATED CANOPIES.
7. MEWS LEVEL RETAIL TO HAVE ILLUMINATED AND STORE FRONT WINDOW SIGNAGE.
8. MEWS LEVEL RETAIL TO HAVE DOWNLIGHTING FROM CANOPIES.
9. PEDESTRIAN MEWS TO INCORPORATE VARIOUS LIGHTS SOURCES INCLUDING SPOT LIGHTING ON PUBLIC ART, ILLUMINATED BOLLARDS, LAMP POSTS, INTEGRATED LANDSCAPE LIGHTING PROVIDING LIGHTING VALUES TO BOTH ENHANCE PEDESTRIAN EXPERIENCE AND SAFETY.
10. TOWNHOUSES TO HAVE WALL MOUNTED LIGHTS AT RESIDENTIAL ENTRIES AND INTEGRATED LANDSCAPE LIGHTING.

**PROJECT LIGHTING DESCRIPTION**

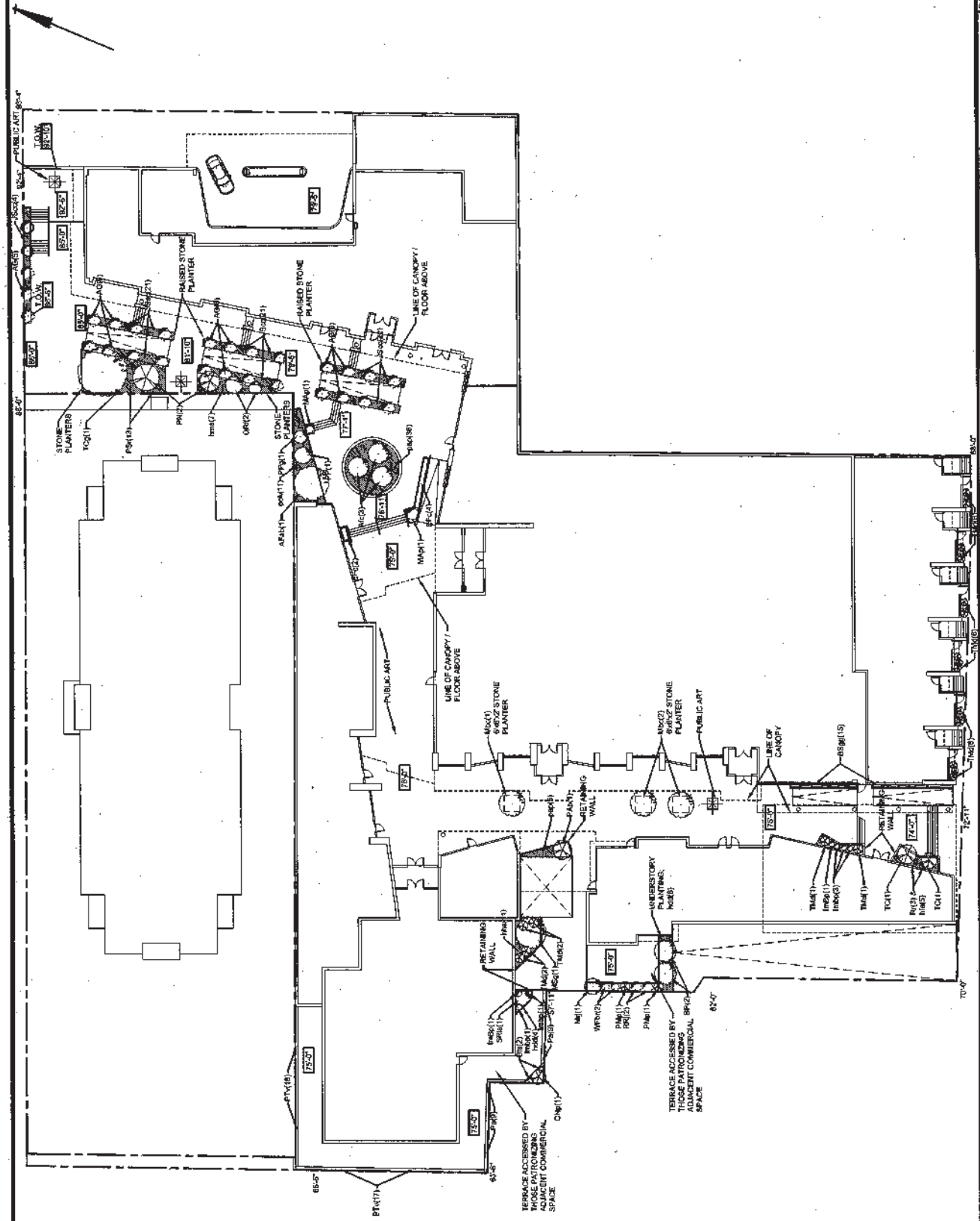
FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA



ARCHITECTURE

REVISIONS:		DATE
NO.	DESCRIPTION	
1.	ISSUED FOR DEVELOPMENT AGREEMENT	2016/10
2.	PROVIDED TO LOCAL AUTHORITY	2016/10

DRAWINGS	PROJECT LIGHTING	DATE
SCALE	N/A	DEC 09
		DRAWING NO.
		A-46



DATE  
APR 10

LANDSCAPE PLAN  
PEDESTRIAN MEWS

REVISIONS

NO.	REVISION NAME	DATE
1.	ISSUED FOR CONCEPT APPLICATION	1/17/2010
2.	REVISION TO CONCEPT APPLICATION	03/03/10
3.	REVISION TO CONCEPT APPLICATION	03/03/10
4.	REVISION TO CONCEPT APPLICATION	03/03/10
5.	REVISION TO CONCEPT APPLICATION	03/03/10

SCALE  
NOT TO SCALE

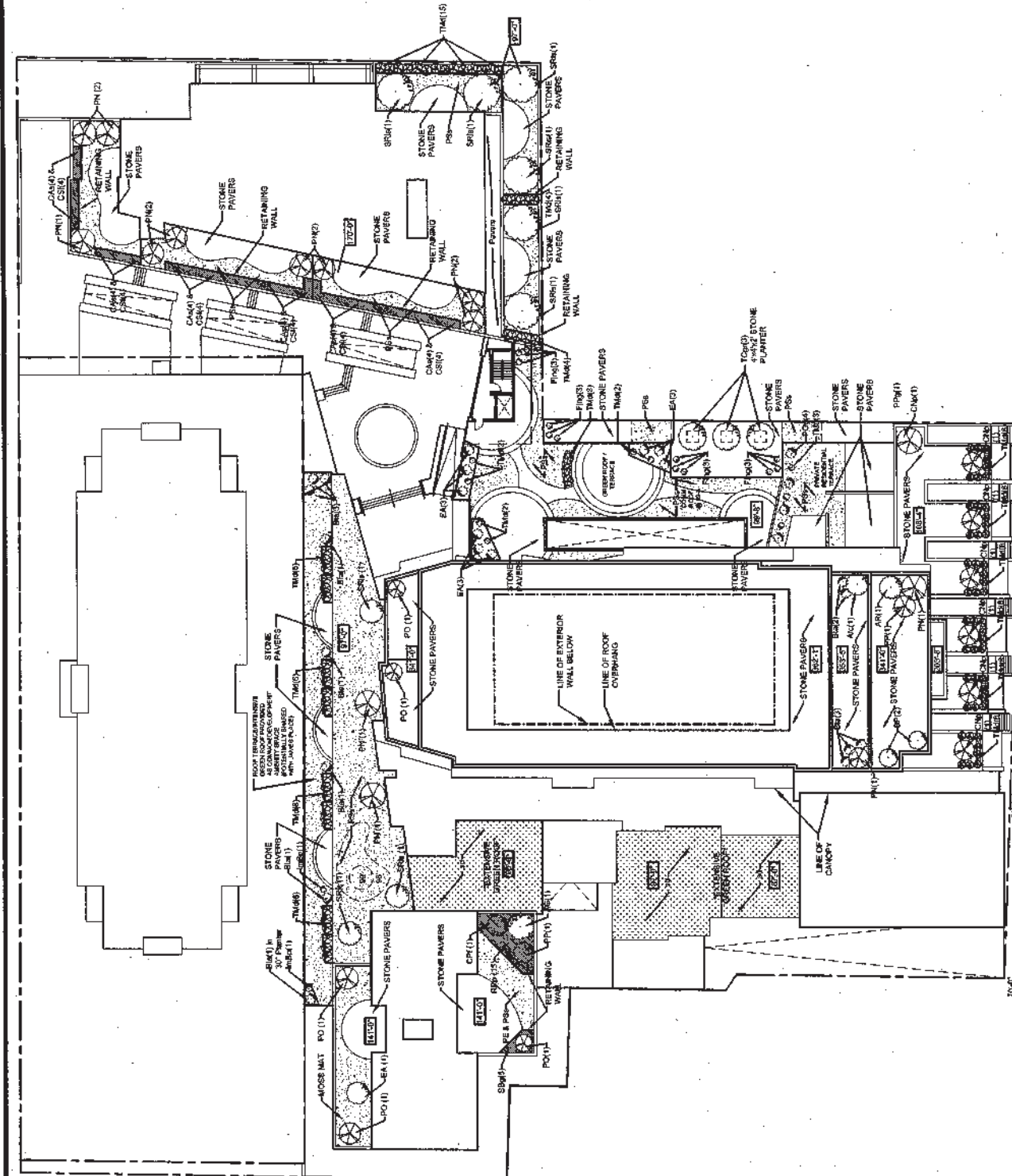
ARCHITECTURE

**ENVIRONOVA**  
PLANNING GROUP INC.

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

LANDSCAPE PLAN  
PEDESTRIAN MEWS





DATE  
APR 10  
DRAWING NO.  
A-47.2

LANDSCAPE PLAN  
ROOF TOP TERRACES  
SCALE  
NOT TO SCALE

NO.	REVISIONS	DATE
1.	REVISION TO D.A. APPLICATION	
2.	REVISION TO D.A. APPLICATION	
3.	REVISION TO D.A. APPLICATION	

ARCHITECTURE



**ENVIRO NOVA**  
PLANNING / GROUP INC.

FENWICK SITE REDEVELOPMENT  
PID # 41030735  
HALIFAX, NOVA SCOTIA

**LANDSCAPE PLAN**  
ROOF TOP TERRACES

Code	No.	Scientific name	common name	Size	Type	comments
<b>Deciduous Trees</b>						
AR	1	Acer rubrum 'Sun Valley	Sun Valley Red Maple	60 mm	WB	Fall colour for roof top tree
Afab	1	Acer x freemani 'Jeffersred	Autum Blaze Maple	100 mm	WB	Major tree/ Scarlet fall colour
Afc	4	Acer x freemani 'Jeffersred C	Autum Blaze Maple clump	350 cm	WB	Focal Point / clumps with scarlet fall colour
AG	30	Acer ginnala 'Flame	Amur Maple	45 mm	WB	multi-stem reddish purple fall colour
ApC	1	Acer platanoides 'Columnari	Columnar Norway Maple	80 mm	WB	Columnar vertical habit for portable planters
BP	4	Betula papyrifera	Paper Birch clump 3 stem	70 mm	WB	White bark contrast
M5g	1	Magnolia soulangeana 'Galaxy	Galaxy Saucer Magnolia	250 cm	WB	Purple Rose spring colour
MJ	1	Malus 'Red Jade	Weeping Red Jade flowering crab	50 mm	WB	weeping form
Map	2	Morus alba 'Pendula	Weeping Mulberry	50 mm	WB	accent plants for stairs
QRf	2	Quercus robur fastigiata	Columnar English Oak	80 mm	WB	Upright form, wind tolerant
Srs	10	Syringa reticulata 'Ivory Silk	Ivory silk Japanese tree lilac	60 mm	WB	Spring colour, adaption to shade
TCg	1	Tilia cordata 'Glenleven	Glenleven Linden	100 mm	WB	
TCgr	3	Tilia cordata Greenspire	Greenspire Linden	80 mm	WB	Pyramidal habit, hardy
Mbc	3	Malus Baccata Columnaris	Siberian Columnar Crab Apple Tree	60 mm	WB	Hardy, wind resistant, white flowers
<b>Conifer Trees</b>						
CNp	8	Chamaecypress nootkatensis pendula	Weeping Nootka Cypress	200 cm	WB	Weeping and striking landscape form
CPF	1	Chamaecypress pisifera filifera	Threadleaf False cypress	124 cm	WB	feathery form
PAP	1	Picea abies pendula	Weeping Norway Spruce	200 cm	WB	Unusal weeping form
PP	3	Picea Pungens	Colorado Green Spruce	200 cm	WB	wind tolerance, hardy maintains good form if pruned
PPg	1	Picea Pungens glauca	Colorado Blue Spruce	200 cm	WB	wind tolerance, does well in planters
PN	1	Pinus nigra	Austrian Pine	250 c m	WB	hardy, wind tolerant
	14	Pinus nigra	Austrian Pine	175 cm	WB	hardy, wind tolerant
PO	5	Picea omorika	Serbian Spruce	150 cm	WB	Striking weeping vertical habit
TC	2	Tsuga canadensis	Canada Hemlock	175 cm	WB	
<b>Evergreen Shrubs</b>						
J5cc	68	Juniperus sabina 'Calgary Carpet	Calgary Carpet Juniper	50 cm	container	Low Ground cover Juniper, wide spreading habit
PMP	2	Pinus Mugo pumilo	Dwarf Mugo Pine	50 cm	container	dwarf habit & wind & salt tolerant
TMD	129	Taxus media densiformis	Dense Japanese Yew	50 cm	container	Shade and sun performer and wind tolerance
<b>Broadleaf Evergreens</b>						
BSgg	15	Buxus sempervirens 'Green Gem	Green Gem Boxwood	40 cm	container	low green form, shade tolerant
Efc	6	Euonymus fortunei coloratus	Coloratus Euonymus	40 cm	container	cascading form
JmBp	2	Ilex merserveae 'Blue Prince	Blue Prince Holly	50 cm	container	shade tolerance
JmBp	7	Ilex merserveae 'Blue Princess	Blue Princess Holly	50 cm	container	
Rt	3	Rhododendron ramapo	Dwarf Rhododendron	40 cm	container	Shade tolerance, early spring colour, Dwarf

\*All quantities to be confirmed.

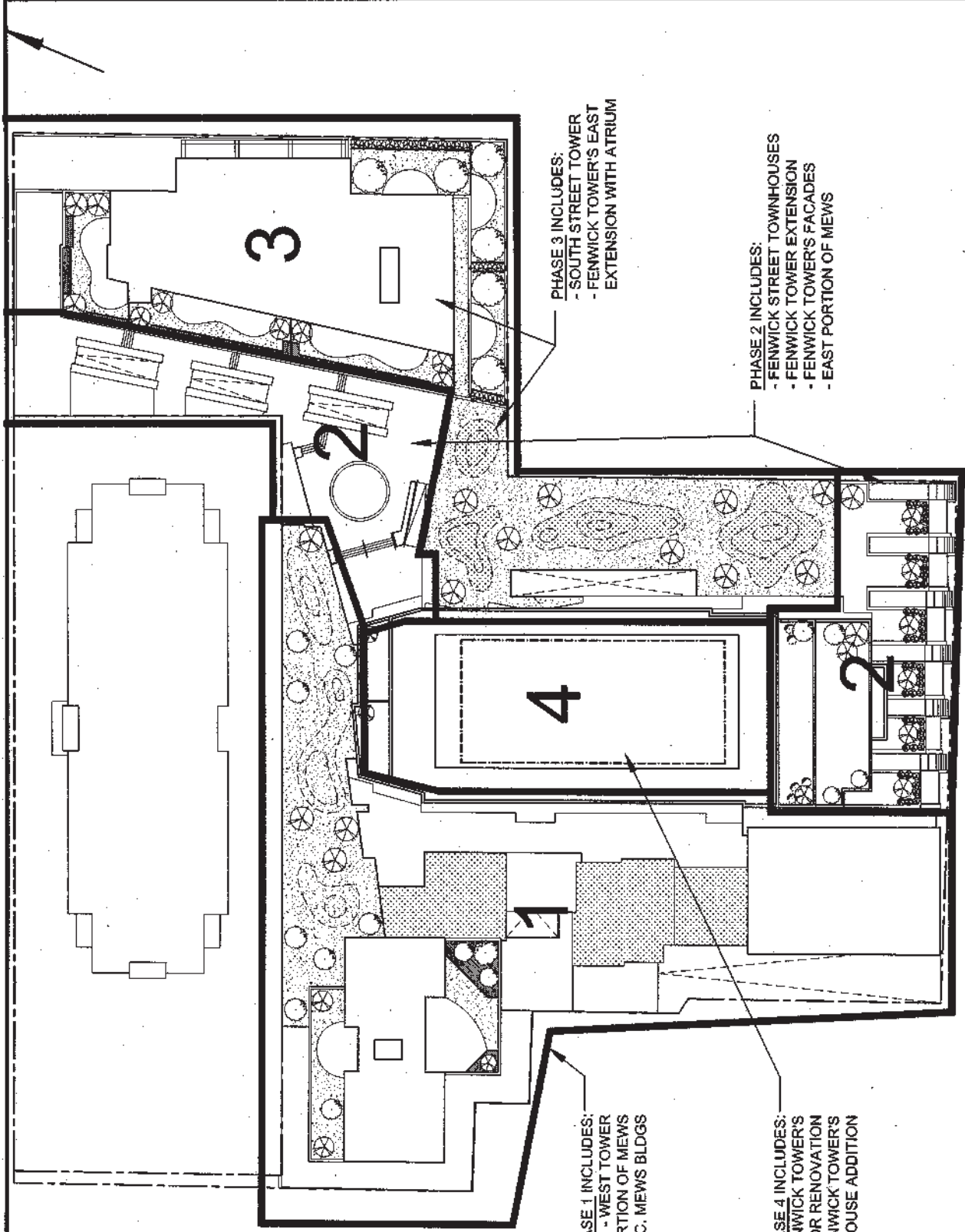
**LANDSCAPE PLAN PLANTING KEY**

Planting Key Fenwick Tower Project

Code	No.	Scientific name	common name	Size	Type	comments
<b>Flowering shrubs</b>						
Bta	5	Berberis thunbergii atropurpurea 'Rose Glow'	Rose Glow Barberry	40 cm	container	Red seasonal colour
Bts	2	Berberis thunbergii 'Sunsation'	Sunsation Barberry	40cm	container	Yellow seasonal colour
<b>Flowering shrubs</b>						
Bta	13	Berberis thunbergii atropurpurea 'Rose Glow'	Rose Glow Barberry	40 cm	container	Red seasonal colour
Bts	2	Berberis thunbergii 'Sunsation'	Sunsation Barberry	40cm	container	Yellow seasonal colour
Cas	24	Cornus alba sibirica	Siberian Dogwood	60 cm	container	winter colour
CSf	24	Cornus sericea 'Flavermamea'	Yellowtwig Dogwood	60 cm	container	winter colour
EA	1	Elaeagnus angustifolia	Russian Olive	150 cm	WB	Silver leaf, wind tolerant
RRp	15	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	50 cm	container	low habit
RRj	2	Rosa rugosa 'John Cabot'	John Cabot Rose	50 cm	container	climbing habit for fence
SBg	5	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	40 cm	container	seasonal gold & fall reddish colour, ground cover
WFbr	2	Weigela florida 'Bristol Ruby'	Bristol Ruby Weigela	60 cm	container	Red flowers
Pod	4	Physocarpus Opulifolius 'Diablo'	Diablo Ninebark	50 cm	container	Colour contrast / wine
Fing	12	Forsythia Intermedia	Northern Gold	125 cm	B & b	Gold flowers in early spring, hardy
EAc	9	Euonymus Alatos Compactus	Dwarf Burning Bush	80 cm	container	Brilliant fall colour
<b>Vines</b>						
PTV	35	Parthenocissus tricuspidata Veitchii	Boston Ivy	2 gal.	container	Clinging vine for fencing, brilliant red fall colour
pa	18	Polygonium aubertii	Silver Lace Vine	2 gal	container	vigorous, shade tolerant silver & silver-white flowers
<b>Ornamental Grasses</b>						
pap	41	Phalaris arundinacea 'Picta'	Variegated Ribbon Grass	2 gal	container	green & white variegated foliage, establishes easy as a ground cover
psr	13	Pennisetum sedaceum 'Red head'	Red Head Fountain Grass	2 gal.	container	Reddish plumed flowers
hma	7	Hakonechloa macra aureola	Golden Variegated Hakone Grass	2 gal.	container	cascading bright yellow leaves with green stripes, red in fall
pok	11	Pennisetum oriental 'Karley Rose'	Oriental Fountain Grass	2 gal	container	smokey purple plumes
<b>Perennials</b>						
hfa	5	Hosta fortunei aureomarginata	Aureomarginata Hosta	2 gal.	container	Deep green leaves with golden yellow margins, violet flowers
hhs	11	Hosta High Society	High Society Hosta	2 gal.	container	Blue margins with narrow yellow centre
hdd	12	Hemerocallis Double d'Oro	Double D'Oro Daylily	2 gal.	container	golden yellow flowers, ever-blooming
<b>Green Roof</b>						
Pe		Phylodoce empetriformis	Pink Mountain Heath	Veg mats	Xero flor	
Sd		Sedum divergens	Alpine Sedum	Veg mats	Xero flor	
Pss		Poa secunda spp. secunda	Pine Blue Grass	Veg mats	Xero flor	

\*All quantities to be confirmed.

LANDSCAPE PLAN PLANTING KEY (cont'd)



PHASE 3 INCLUDES:  
 - SOUTH STREET TOWER  
 - FENWICK TOWER'S EAST  
 EXTENSION WITH ATRIUM

PHASE 2 INCLUDES:  
 - FENWICK STREET TOWNHOUSES  
 - FENWICK TOWER EXTENSION  
 - FENWICK TOWER'S FACADES  
 - EAST PORTION OF MEWS

PHASE 1 INCLUDES:  
 - WEST TOWER  
 - WEST PORTION OF MEWS  
 - ASSOC. MEWS BLDGS

PHASE 4 INCLUDES:  
 - FENWICK TOWER'S  
 INTERIOR RENOVATION  
 - FENWICK TOWER'S  
 PENTHOUSE ADDITION

DATE  
 ARP '10  
 DRAWING NO.  
 A-49

DRAWING  
 PROJECT PHASING PLAN  
 SCALE  
 NOT TO SCALE

NO.	REVISIONS	DATE
1	REVISION FOR P.A. APPLICATION	2008/05/20
2	REVISION TO P.A. APPLICATION	2008/05/20
3	REVISION TO P.A. APPLICATION	11/08/10
4	REVISION TO P.A. APPLICATION	09/09/10

ARCHITECTURE



FENWICK SITE REDEVELOPMENT  
 PID # 41030735  
 HALIFAX, NOVA SCOTIA

**PHASING PLAN**



CONSULTING ENGINEERS  
& SCIENTISTS

## Schedule C, Wind Testing Methodology and Criteria

Tel: 519.82  
Fax: 519.823.1316  
Email: solutions@rwdi.com

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West  
Guelph, Ontario, Canada N1K 1B8



October 5, 2010

Richard Harvey, MCIP, LPP  
Senior Planner  
Halifax Regional Municipality  
PO Box 1749  
Halifax, Nova Scotia, Canada  
B3J 3A5  
902-490-5637  
[harveyri@halifax.ca](mailto:harveyri@halifax.ca)

**Re: Pedestrian Wind Studies – Methodology and Criteria**  
**RWDI Reference Number: 1011319**

Dear Richard,

Information below outlines our Pedestrian Wind Comfort testing methodology and our pedestrian wind criteria, as well as a list of references.

### WIND TUNNEL METHODOLOGY

The purpose of the pedestrian wind tunnel study is to assess the wind environment around a proposed development with respect to pedestrian comfort and safety. This objective is typically achieved through wind tunnel testing of a model of the proposed development for two or three building configurations:

- Configuration A - Existing:** existing surroundings without the proposed development;
- Configuration B - Proposed:** with the proposed development; and,
- Configuration C – Future:** with the proposed development and future surrounding buildings (optional).

A test model can be constructed using the design information and drawings provided by our clients. The placement of wind measurement locations is based on our experience and understanding of the pedestrian usage for this site.



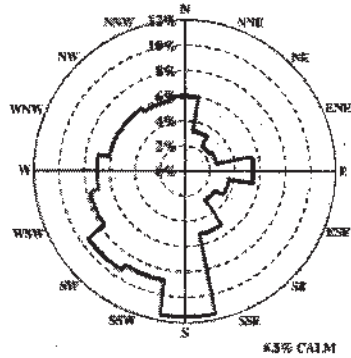
The wind tunnel model includes the proposed development and all relevant surrounding buildings and topography within a 460 m radius of the study site for a 1:400 model. The mean speed profile and turbulence of the natural wind approaching the modelled area were also simulated in RWDI's boundary layer wind tunnel. The model at a suitable scale (e.g. 1:300 or 1:400) is instrumented with many wind speed sensors to measure mean and gust wind speeds at a full-scale height of approximately 1.5 m. These measurements are recorded for 36 equally incremented wind directions.

Wind statistics recorded at the Shearwater Airport in Halifax, Nova Scotia, between 1953 and 2006 were analysed for the Summer (May through October) and Winter (November through April) seasons. Diagrams below graphically depict the distribution of wind frequency and directionality for the two seasons. When all wind records are considered, winds from the southwest quadrant are predominant in the summer, as indicated by the upper-left wind rose. The lower-left wind rose shows the winter data, indicating the predominance of winds from the northwest quadrant during this season. Calm winds recorded at the airport occur for 6.5% of the time in the summer and 4.0% of the time in winter.

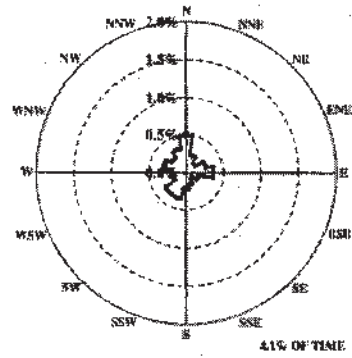
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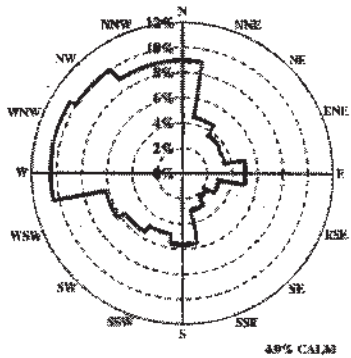
CONSULTING ENGINEERS & SCIENTISTS



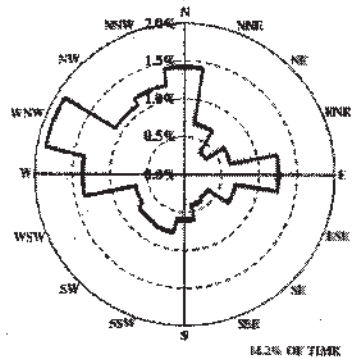
ALL SUMMER WINDS



SUMMER WINDS EXCEEDING 30 km/h



ALL WINTER WINDS



WINTER WINDS EXCEEDING 30 km/h

Strong winds of a mean speed greater than 30 km/h measured at 10 m above grade at the airport occur for 4.1% and 14.2% of the time during the summer and winter seasons, respectively. Winds from the north, east and southwest are prevalent in the summer, while winds from the westnorthwest, north, west and east are dominant in the winter season. This is illustrated by the two right-hand wind roses. Winds from these directions potentially could be the source of uncomfortable or even severe wind conditions, depending upon the site exposure and development design.

The wind statistics from the Shearwater Airport will be combined with the wind tunnel data in order to predict the frequency of occurrence of full-scale wind speeds. The full-scale wind predictions can then be compared with the RWDI criteria for pedestrian comfort and safety. These criteria, developed by RWDI through research and consulting practice since 1974, have been published in numerous academic journals and conference proceedings. They have also been widely accepted by municipal authorities as well as by the building design and city planning community. RWDI's criteria have been used in thousands pedestrian wind projects and adopted as part of environmental planning guidelines by several major cities around the world.



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 & SCIENTISTS

**WIND CRITERIA**

The RWDI wind criteria deal with both pedestrian safety and comfort, as they relate to the force of the wind. Thermal effects (e.g., temperature, humidity, sun/shade, wind chill, etc.) are not considered in these comfort criteria. Gust speeds over a short period are critical in some circumstances, particularly where winds are very strong and pedestrians' footing and balance are involved. The mean wind speed can also affect pedestrian comfort in areas such as an outdoor cafe. The combined effect of mean and gust speeds can be quantified by a Gust Equivalent Mean (GEM) speed. GEM is the greater of either the mean speed, or the gust speed divided by 1.85, which is a gust factor typically used for wind comfort (References 1, 5, 7 and 8).

The GEM wind speed predicted for each test location on the model is compared to the RWDI wind criteria to determine pedestrian comfort, while the gust speed is used for the wind safety evaluation. The following table is an example of how these predicted results are presented in this report.

**Example Table: Pedestrian Wind Comfort and Safety Categories**

COMFORT CATEGORY							SAFETY CATEGORY		
GEM Wind Speed (km/h)	Sitting	Standing	Walking	Uncomfortable			Gust Speed $\geq$ 88km/h		
Category Limit	$\geq 80\%$	$\geq 80\%$	$\geq 80\%$	$> 20\%$			$> 2$ Events Seasonally		
Loc.	Config.	Season	%	%	%	%	RATING	Events	RATING
999	A	Summer	75	85	95	5	Standing	0	PASS
		Winter	50	70	85	15	Walking	1	PASS
	B	Summer	65	80	90	10	Standing	2	PASS
		Winter	45	65	75	25	Uncomfortable	4	FAIL

Across the top of the Example Table there are four comfort categories:

- **Sitting:** wind speeds up to 10 km/h - Low wind speeds during which one can read a newspaper without having it blown away. Recommended for outdoor cafes and other amenity spaces that promote long term sitting. A bench located along a sidewalk would not typically be considered in this category.
- **Standing:** wind speeds up to 14 km/h - Slightly higher wind speeds that are strong enough to rustle leaves. These wind speeds are appropriate at major building entrances, bus stops or other areas, such as a bench along a sidewalk, where people may linger but not necessarily sit for extended periods of time. Waiting for a short period of time at an intersection for a traffic signal to change would not be considered in this category.
- **Walking:** wind speeds up to 19 km/h - Winds that would lift leaves, move litter, hair and loose clothing. Appropriate for sidewalks, intersections, plazas, parks or playing fields where people are more likely to be active and receptive to some wind activity.



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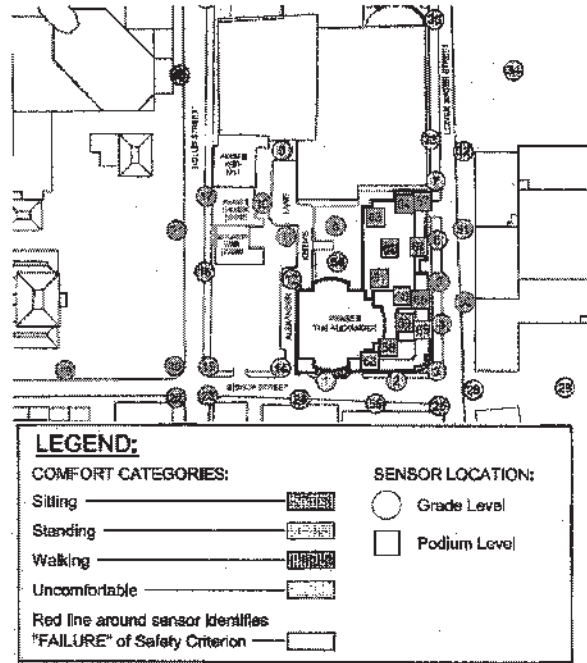
- Uncomfortable:** wind speeds greater than 19 km/h - The effects of wind speeds at this level range from small trees swaying and wind force being felt on the body to whole trees being in motion and inconvenience being felt when walking. Winds of this magnitude are considered a nuisance for most activities, but can be acceptable depending upon the season and use of an area. For example, marginally uncomfortable winds on a terrace during the winter season or in a loading area throughout the year may be acceptable.

Along the left side of the Example Table, the sensor location, test configuration and season are listed. The subsequent four columns show the percentage of time that the winds are predicted to fall within the wind speed ranges for each comfort category. Wind conditions are considered acceptable for sitting, standing or walking if the wind speeds are within their specified ranges at least 80% of the time. Using this criterion, each location has been given a comfort RATING on the right side of the "COMFORT CATEGORY" section of the table. Pedestrian activities other than the wind comfort category rating can still take place in the area; however, the percentage of time that the wind will be comfortable for other activities may be less than the desired 80% criterion.

For example, at Location 999 in the Example Table, the summer wind conditions are identified as comfortable for sitting 75% of the time and suitable for standing 85% of the time for Configuration A. While these percentages become lower in Configuration B (65% and 80%, respectively), the summer wind conditions for both configurations are considered to be in the same category, i.e., comfortable for standing. The winter wind conditions for Configuration B are rated uncomfortable, since the 80% criterion is not satisfied for walking. Design measures to reduce wind speeds may be needed if the comfort designation is uncomfortable, or if the wind conditions are not consistent with the intended use of an area.

**Safety** is also considered by the criteria. Gust speeds in excess of 88 km/h can adversely affect a pedestrian's balance and footing. If winds of this magnitude occur more than two times per season or three times on an annual basis, a "FAIL" RATING is indicated in the "SAFETY CATEGORY" section. Location 999 for Configuration B in the Example Table fails the safety criterion in the winter. Wind control measures are typically required at locations that receive the "FAIL" RATING.

These guidelines for wind force represent average wind tolerance. Regional differences in wind climate and variations in age, health, clothing, etc. can affect people's perception of the wind climate. Thermal effects, which as noted are not considered, also influence a person's comfort. For example, on very hot days, higher winds can be tolerated because the cooling effect of the wind would be considered pleasant. On colder days, people's tolerance of wind would be reduced due to wind chill, especially if they are unprepared or without appropriate clothing.







CONSULTING ENGINEERS  
& SCIENTISTS

Halifax Regional Municipality  
RWDI Reference #1011319  
October 5, 2010

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- 8) Durgin, F. H. (1997). "Pedestrian Level Wind Criteria Using the Equivalent average", *Journal of Wind Engineering and Industrial Aerodynamics*, Vol. 66, pp. 215-226.

## IN CLOSING

If you have any questions, please do not hesitate to contact us.

Yours very truly,

**ROWAN WILLIAMS DAVIES & IRWIN Inc.**

Original signed

Bill Waechter, C.E.T.  
Project Director / Senior Associate

Original signed

Hanqing Wu, Ph.D., P.Eng.  
Technical Director / Associate



CONSULTING ENGINEERS  
& SCIENTISTS

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Guelph, Ontario, Canada N1K 1B8



October 8, 2010

Mr. Andrew Metlege  
Templeton Properties  
290 Main Avenue  
Suite 103  
Halifax, NS B3M 3V3

E-mail: [anmet@eastlink.ca](mailto:anmet@eastlink.ca)

**Re: Pedestrian Wind Assessment – Letter of Clarification**  
**5599 Fenwick Street**  
**Halifax, Ontario**  
**RWDI Reference Number: 1011319**

Dear Mr. Metlege,

Further to our recent discussions, it is our experience that when we conduct a detailed Pedestrian Wind Study in our tunnel facility, we are able to work with the Project Architect to come up with a product that will achieve suitable wind conditions on and around the site. We typically divide a year into two seasons, i.e., Summer from May to October and Winter from November to April. In order to establish a design that produces suitable wind conditions for each season, we would recommend that the RWDI pedestrian wind criteria be adopted for your project. That criteria is summarized as follows:

**Sitting:** Wind speeds up to 10 km/h – Low wind speeds during which one can read the newspaper without having it blown away. Suitable for outdoor cafes and other sitting areas. This condition would apply to the following areas associated with this project:

- Outdoor seating areas where they are installed upon the pedestrian passageway, linking South Street and Fenwick Street, and other landscaped open spaces during the Summer.

**Standing:** Wind speeds up to 14 km/h – Slightly higher wind speeds that are strong enough to rustle leaves. These wind speeds are appropriate at major building entrances, bus stops or other areas where people may want to linger, but not necessarily sit for extended periods of time. This condition would apply to the following areas associated with this project:

- Public entrances to each of the Building Elements off Fenwick Street, South Street, and the Pedestrian Passageway during the Summer.

**Walking:** Wind speeds up to 19 km/h – Winds that would lift leaves, move litter, hair and loose clothing. Appropriate for sidewalks, plazas, parks or playing fields where people are more likely to be active and receptive to some wind activity. This condition would apply to the following areas associated with this project:

- Pedestrian route linking South Street to Fenwick Street;
- South Street and Fenwick Street; and,
- Public entrances to each of the Building Elements off Fenwick Street, South Street, and the Pedestrian Passageway during the Winter.

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Pedestrian Wind Assessment  
Templeton Properties  
October 8, 2010

Page 2

**Uncomfortable:** Wind speeds greater than 19 km/h – The effects of wind speeds at this level range from small trees swaying and wind force being felt on the body, to whole trees being in motion and inconvenience being felt when walking. An uncomfortable designation means that the criterion for walking is not satisfied. Winds of this magnitude are considered a nuisance for most activities, but can be acceptable depending upon the season and use of an area. For example, marginally uncomfortable winds on a terrace during the winter season, or in a loading area throughout the year, may be acceptable to the user.

This condition would apply to the following areas associated with this project:

- Landscaped open spaces, other than the pedestrian passageway, during the Winter.

**Safety** is also considered by the criteria. Excessive gust wind speeds in the range of 88 km/h can adversely affect a pedestrian's balance and footing. Winds such as this are sufficient to affect a person's balance and can be expected to occur two or three times per season in Halifax, and are considered normal. Wind control measures are typically required at locations where winds are rated as uncomfortable or are abnormally strong.

There are to be no greater than the three following safety failures:

- Along within the pedestrian passageway;
- Upon landscaped open space areas, other than the pedestrian passageway, during the summer; and,
- Sidewalks along South Street and Fenwick Street.

We trust the above meets your current needs. If you have any questions or concerns, please feel free to contact us.

Yours very truly,

**ROWAN WILLIAMS DAVIES & IRWIN Inc.**

Original signed

Hanqing Wu, Ph.D., Ph.Eng.  
Technical Director

Original signed

Bill Waechter, C.E.T  
Project Director/Senior Associate



## **Fenwick Tower Redevelopment Project** **Development Agreement Amendment Analysis**

**Prepared by: AVRP Architecture Inc.**  
**Date: April 29<sup>th</sup>, 2014**

### **Introduction / Project Approach Summary**

We provide this Design Rationale as a written commentary of the ongoing Design Development for the Fenwick Tower Redevelopment Project located within the South End of the downtown Halifax core.

Specific emphasis has been placed in regards to the ongoing resolution and advancement of the detailed design of the towers and associated building components that are located directly adjacent to the 'brezeway' and 'mews' pedestrian promenade / areas. As such, our focus has been placed in regards to the pedestrian 'experience' throughout the site and how each specific building component is designed to enrich this experience.

The intent of the Design Development of all buildings and spaces 'in-between' is based on furthering and advancing and further resolving the basic / schematic form of development as currently and rudimentarily shown in the Development Agreement.

Wherever possible, we have focused our attention to enhancing the design of each future building component in order for each building to maintain its' own unique individuality whilst maintaining a consistent architectural theme and palette of materials unique to this development, as was envisioned in the original conceptual design and as reflected in the Development Agreement.

Furthermore, the design development as shown in the issued drawings and 3D image package is an accumulation of ongoing and continuing work in progress with the intent of continuing detailed design as the final form of development including unit planning and overall site programming based on the goals of the community and the consultation process.

### **Site Planning and Building Component Arrangements**

The intent of the project is the revitalization and rejuvenation of the current Fenwick Tower and surrounding urban context in anticipation of the ongoing and potential development of this area of the city.

As there is a natural pathway from Lucknow Street to South Street, the pedestrian mews that is proposed to run through the subject site can be considered in-effect, a natural connection from south to north. As such, the commercial and pedestrian environment will become a viable and lively intermediate mid-block connection.

Furthermore, the Fenwick site following full completion will be considered by many as an inter-urban pedestrian link through the site that in of itself provides a convenient and attractive pedestrian thoroughfare for users wanting expedient access from north to south and vice versa.

### **Amendment Revisions**

The overall placement and location of the residential towers and commercial building elements have not changed or varied drastically in form or placement from the original Development Agreement. Where deemed appropriate, certain building elements and building program uses have been design-developed and placed adjacent the pedestrian thoroughfare as a means of enhancing the circulation through the site proper.

The most prominent revision includes relocation of the Pedestrian Mews from west side of the tower to its east side and subsequently, repositioning of the pedestrian access from the Fenwick street to the development. Discussed further in this document decision to retain massing of the Fenwick Tower unchanged from the original design, allowed creation of a semiprivate, outdoor amenity space south and west of the tower.

The accessory building previously located at the south-west corner has been moved to the south-east quadrant, replacing 'mall' building proposed in the previous design. This decision presented opportunity to create a covered pedestrian passage and further improve pedestrian experience, especially during adverse weather conditions.

Although mostly stand-alone, all 'commercial' buildings are considered as integrated 'extensions' of the main residential buildings. When completely assembled, these buildings will provide the basis for a framework for a user-friendly pedestrian environment as well as potentially lessening the scale and massing of the existing Fenwick Tower. The extensive use of canopies and glass roofs will not only minimize negative wind effects but it will also visually separate and scale down public spaces, creating more intimate environment.

Each residential and accessory building fronts a pedestrian 'mews' which forms a pedestrian friendly promenade from South Street to Fenwick Street. Potential commercial uses are located fronting the mews in order to promote greater activity and pedestrian interaction for the project and the greater area.

The ongoing design development also considers the textural and material experience for the pedestrian not only in terms of visually linking each building component as a cohesive whole but also in terms of varying the material palette in order to provide distinct and logical movement through the site through by the use of integrated building materials as visual cues.

Proposed materials and finishes are consistent with the approved Development Agreement; they have been used throughout the project, rearranged only to suite the new special composition of the project.

### **Halifax Municipal Planning Strategy**

The proposed revisions to the existing Development Agreement meet requirements of Halifax Municipal Planning Strategy, specifically policy 7.7A outlining permitted form of development for the Fenwick Tower lands.

To address economical and urban conditions the project took an innovative approach to some of the stipulated requirements. Specifically, the current market conditions and site configuration dictated unconventional approach to distribution of family units, design of townhouse dwellings as well as approach to parking and vehicular circulation.

- Family Units

As required by the policy, 50% of units need to have two or more bedrooms, promoting families in the development. Due to the site constraints, its depth and an irregular property line, the distribution of family units through the project has been carefully coordinated with access to family oriented amenities and services. Most of units in Fenwick Tower and South Street Tower are multi bedroom. Both of these buildings have easy access to outdoor green spaces; they have extensive indoor amenity areas and convenient access to public thoroughfares and transportation.

The West Tower, separated from street traffic by surrounding green spaces and adjacent buildings has been designated for smaller, one bedroom, possibly assisted living or senior citizens apartments. To provide convenient access to the building, including people with mobility issues a special indoor drop-off area has been created with extra parking spaces for minivans and loading/unloading zone. The ground floor mixed use spaces can be occupied by services catering to the needs of the building occupants (medical, health) or be designated as an amenity space.

The small footprint dictated a more compact design; proximity to property line limited number of balconies; land configuration allowed only for a small outdoor space surrounding three sides of the building. All of these factors made this building less favorable for family living, hence only one level of two-bedroom apartments have been proposed in the West Tower.

- Single Level Townhouse Dwellings

The low-rise residential building located at Fenwick Street has been proposed with single storey ground level townhouse units. The building on the outside appears as a conventional townhouse block but only lower units have individual access to the street. Unconventional in their form, the street units address current urban trend to maximize usable rental space and bring the rental cost down while still allowing commercial activities for freelance artists, therapists, professionals and people with similar occupations. This type of unit recently became quite popular in urban areas where affordability was one the major concerns. It offers all the advantages of a townhouse unit with affordability of a small apartment.

- Vehicular Traffic and Parking

With a new design the proposed number of parking stalls is lower than the previously approved. Since the existing parking structure is greatly underutilized and any future expansion, even with the additional residential units may never reach its intended number of users, the new design calls for a flexible parking/storage space where a portion, or the entire P3 level could be converted to a storage space. Maximum of 101 parking stalls could be re-designated, subject to a demand for parking in the completed development.

### **Detailed Analysis of Changes Existing Development Agreement**

The following paragraphs follow the order of the existing Development Agreement; numbers noted herein correspond with the paragraph numbers in the said agreement. Only sections affected by proposed revisions are noted below.

- 3.1 Schedules  
List of drawings has been revised; please refer to cover sheet A000 for complete list of provided drawings
- 3.5.5 The maximum number and distribution of residential dwelling units shall follow summary provided in the Project Statistics; please refer to submitted documents.
- 3.5.6 The maximum number of dwelling units for the entire development is 445.
- 3.6.1 Phasing has been revised as per drawing A102.
- 3.9.1 There shall be a minimum of 275 vehicular parking spaces.

### **Conclusions**

As noted, we provide this Development Agreement Amendment package as a detailed visual and written description in terms of how the future phases of the Fenwick Development are advancing in terms of form of development based on the goals established by the projects' ownership group, Templeton Properties.

The original Development Agreement outlined and emphasized the overall design intent of the concept of the site development for this project. In response to market conditions we have introduced design changes using all previously approved urban components, just scaling them down and rearranging where necessary.

In reviewing and furthering the design development from both a physical and technical review of the original design, we have advanced the design of each building component with the directive of maintaining the original intent of the design concept with the goal of further advancing the design of the project ultimately with the end-users in mind.

Given the size and scale, as well as constantly changing economic conditions of this project it was deemed necessary to further advance the design of all building components / elements in order to glean the further understanding of the intricacies of this project both internally and within the greater context of the neighborhood that this project inhabits.



**Developers - Contractors - Property Management**  
5599 Fenwick Street, Suite 102, Halifax, Nova Scotia B3H 1R1  
Phone: (902) 443-7074 Fax: (902) 445-5611

May 15, 2014

Mr. Miles Agar, MCIP, LPP  
Planner 1  
Community and Recreation Services – Development Approvals  
Halifax Regional Municipality  
PO Box 1749  
Halifax, Nova Scotia

Dear Sir,

**Re: Development Agreement Amendment  
Fenwick Tower Redevelopment, Halifax, NS**

It is our pleasure to submit an application for a Development Agreement Amendment for the Fenwick Tower project. This application includes revisions to the approved Development Agreement granted in 2010 and subsequently amended in 2012.

This letter includes a short summary of all requested amendments. It is followed by a brief description of development's components and a comparative summary outlining the evolution of the project. For more detailed information please refer to the application drawings and other supporting documents.

### **Requested Amendments**

Templeton Properties requests the following changes to the existing Development agreement and its amendments:

- Reduction in height of the Tower
- Reduction of footprint of the Tower
- A change in the shape of the Tower and its roof line
- Reduction in the overall residential density of the site from 504 residential units to 445 residential units.
- Reduction in the overall commercial density of the site from 92,160 sq ft. to 40,090 sq ft.
- Changing 35 storey extension on Fenwick Street to a 4 storey standalone building on Fenwick Street noted as Fenwick Street low-rise building
- Relocating Mews/Pedestrian passage from the West side of the Fenwick Tower to the East side of Fenwick Tower
- Change in design of the South Tower to allow for vehicular drop off within the property as opposed to street drop off; no change in the height from original DA is proposed.
- West Tower unit mix has been reconfigured to allow for two bedrooms on the top floor of the building and 1 bedroom throughout floor 2-7; commercial area/location to remain unchanged; no change to height from original DA is proposed.



- Family unit distribution on the site has remained consistent with a minimum of 50% two bedroom policy, however a higher concentration of two bedrooms have been moved out of the West Tower, and Fenwick Street Low rise building to allow for more two bedrooms in the Fenwick Tower.
- A reduction in the parking amount from 423 to 275 parking stalls.

### **Building Revisions**

All building components have remained consistent with already approved DA heights or, they have been reduced in height and bulk.

**Fenwick Tower:** The Tower has been drastically reduced from the original approval. The elimination of the 35 storey, south extension along with eliminating the East and West extensions to the tower saw the reduction in the tower from 389 units reduced to 279 units. Through design re-work, the Tower will retain much of its existing shape, while being re-clad with a modern glass and metal exterior. A new roofline has also been designed to complement the tower more appropriately. A reduction of 2 storeys has occurred to overall building, and the reduction of 35 storeys has occurred to the extension.

**Fenwick Low-Rise:** As a result of the elimination of the 35 storey south extension to the Fenwick tower, the Fenwick Low-Rise building is now a stand-alone building containing 23 1-bedroom units. The same design intent as the original DA respecting similar setbacks, heights, and scale to the other houses along Fenwick Street has been maintained. The Fenwick Street ground units each have individual entrances to continue the 'townhouse feel' for the building. No increase in height has occurred to this building.

**South Tower:** The south Tower has been further enhanced from the accepted DA design through the cut out of the first two levels along South Street. This has allowed for vehicular drop off directly in front of the main entrance, moving this 'drop off' location from the street, to the inside the property. This enhancement allows removing further cars off South Street when dropping people off to the location. No increase in height has occurred to this building.

**The West Tower:** Separated from street traffic by surrounding green spaces and adjacent buildings has been designated for smaller, one bedroom units. To provide convenient access to the building, including people with mobility issues a special indoor drop-off area has been created with extra parking spaces for minivans and loading/unloading zone. The ground floor mixed use spaces can be occupied by services catering to the needs of the building occupants (medical, health) or be designated as an amenity space.

The small footprint dictated a more compact design; proximity to property line limited number of balconies; land configuration allowed only for a small outdoor space surrounding three sides of the building. All of these factors made this building less favorable for family living, hence only one level of two-bedroom apartments have been proposed in the West Tower. No change in height has occurred to this building.

### **Comparative Density Summary**

As required by the policy, 50% of units on the site need to have two or more bedrooms, promoting families in the development. As opposed to applying this policy uniformly to each building, Templeton Properties took the advice of the community to further minimize the density feel of the Tower. This has been accomplished by concentrating a higher proportion of two bedrooms in the Tower, resulting in 60% of the tower unit make-up being two-bedroom apartments.

A chart of the unit breaks down for the site is below included in the package.

<b>Table 1 – Fenwick Redevelopment Land Use Comparisons (2010 to 2014)</b>					
<b>Land Use</b>	<b>Land Use in Units for Fenwick Redevelopment 2010 to 2014</b>				
	<b>Fenwick Tower 2010<sup>1</sup></b>	<b>Proposed DA Additional 2012<sup>2</sup></b>	<b>Total Approved 2010 &amp; DA<sup>3</sup></b>	<b>Total Proposed 2014<sup>4</sup></b>	<b>Reduction from Proposed 2010<sup>5</sup></b>
Apartments (units)	274	230	504	440	64
Townhouses (units)	0	6	6	5	1
Commercial (Sq. Ft)	33,000	59,160	92,160	40,090	52,070
Parking Spaces	249	174	423	372	51
<p>NOTES:</p> <ol style="list-style-type: none"> <li>1. These were the existing land uses on the Fenwick Tower site when the Traffic Impact Statement was prepared in 2010.</li> <li>2. These were the additional land uses that were proposed and included in the 2010 Traffic Impact Statement.</li> <li>3. These are the total land uses proposed for the site in 2010 and that are included in the existing Development Agreement.</li> <li>4. These are the total land uses included in the proposal to reduce the number of apartment units and commercial space in a revised Development Agreement.</li> <li>5. These are the proposed reductions from that permitted under the existing Development Agreement.</li> </ol>					

### **Conclusion**

Overall, the re-submission is a reduction in the density, and scale of the project, while maintaining all of the public goods, services, amenities, and spaces originally promised to the public. We are excited to move forward with the same principals today that were established in the revolutionary public consultation which was conducted in 2010, 'To be as good for the Community as it is for the Developer, and as Good for the Developer as it is the Community'. We welcome your input and comments, and look forward with proceeding to the next steps.

Please do not hesitate to contact us should you require further clarifications at any time. We will gladly assist you with any requested information.

Thank you.

Warm Regards,

Joe Metlege, MBA  
 President  
 Templeton Properties

# Fenwick Tower Redevelopment

Templeton Properties

5595 Fenwick Street  
Halifax, Nova Scotia



## Development Agreement Amendment Project Statistics and 3D Images

January 31<sup>st</sup> 2014

All 3D images are artist's interpretation of architectural drawings and they may not correctly represent materials, features and colors of the proposed development. Please refer to the latest edition of architectural and landscape drawings for the correct information.

**UNIT AREA CALCULATIONS, FENWICK TOWER REDEVELOPMENT**

April 29th, 2014

FENWICK TOWER UNIT AREAS				
LOWER LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS	
Unit 1	Retail / Commercial	14182	1	
Unit 3	Residential Storage Rm	1442	1	
Unit 4	Holding and Loading	1516	1	
Unit 5	Commercial Trash Rm	639	1	
Unit 6	Residential Trash Rm	547	1	
Unit 7	Surveillance Room	245	1	
MAIN LEVEL				
Unit 1	Retail / Commercial	1025	1	
Unit 2	Retail / Commercial	830	1	
Unit 3	Retail / Commercial	556	1	
Unit A	1 Bedroom	872	1	
Unit B	1 Bedroom	891	1	
Unit C	2 Bedroom	825	1	
Unit D	1 Bedroom	755	1	
LEVEL 2				
Unit 1	Retail / Commercial	973	1	
Unit 2	Retail / Commercial	839	1	
Unit 3	Retail / Commercial	830	1	
Unit A	Live/Work Studio, 1 Bedroom	1091	1	
Unit B	Live/Work Studio, 1 Bedroom	839	1	
Unit C	Live/Work Studio, 1 Bedroom	843	1	
Unit D	Live/Work Studio, 1 Bedroom	826	1	
Unit E	Live/Work Studio, 1 Bedroom	1106	1	
LEVEL 3				
Unit A	Studio	470	2	
Unit B	2 Bedroom	834	4	
Unit C	2 Bedroom	1098	2	
Unit D	1 Bedroom	839	1	
LEVEL 4				
Unit A	Studio	470	2	
Unit B	2 Bedroom	834	4	
Unit C	2 Bedroom	1098	2	
Unit D	1 Bedroom	839	1	
LEVEL 5-30 (25 Levels)				
Unit A	Studio	470	50	
Unit B	2 Bedroom	834	100	
Unit C	2 Bedroom	1098	50	
Unit D	1 Bedroom	839	25	
LEVEL 31				
Unit A	Studio	490	2	
Unit B	2 Bedroom	875	2	
Unit C	2 Bedroom	1243	2	
LEVEL 32				
Unit A	Studio	490	2	
Unit B	2 Bedroom	875	4	
Unit C	2 Bedroom	1243	2	
Unit D	2 Bedroom	879	1	

Fenwick Tower continued

LEVEL 33	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit A	2 bedroom	1018	1
Unit B	2 Bedroom	875	4
Unit D	2 Bedroom	879	1

**SOUTH TOWER UNIT AREAS**

MAIN LEVEL 1			
UNIT	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	Retail / Commercial	3400	1
LEVEL 2			
Unit A	1 Bedroom Typical	567	4
Unit A1	1 Bedroom	650	1
Unit B	2 Bedroom Typical	960	1
Unit B1	2 Bedroom	915	1
LEVELS 3-8			
Unit A	1 Bedroom Typical	567	6
Unit B	2 Bedroom Typical	960	1
Unit B1	2 Bedroom	915	1
Unit C	2 Bedroom	1004	2
Unit D	2 Bedroom	970	1
Unit E	2 Bedroom	945	1
LEVEL 9 & 10 PENTHOUSES			
Unit F	2 Bedroom	1004	1
Unit G	2 Bedroom	1408	1
Unit G1	2 Bedroom	1361	1
Unit H	1 Bedroom Typical	898	6
Unit I	1 Bedroom	1044	1
Unit J	2 Bedroom	1646	1
Unit K	3 Bedroom	1679.74	1

**WEST TOWER UNIT AREAS**

MAIN LEVEL 1			
UNIT	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	Retail / Commercial	1094	1
Unit 2	Retail / Commercial	1683	1
LEVELS 2-7			
Unit A	1 Bedroom	648	2
Unit B	1 Bedroom	780	1
Unit C	1 Bedroom	585	1
Unit D	1 Bedroom	527	2
Unit E	1 Bedroom	577	1
Unit F	1 Bedroom	517	1
LEVEL 8			
Unit G	2 Bedroom	1377	1
Unit H	2 Bedroom	1318	1
Unit J	2 Bedroom	1089	1
Unit K	2 Bedroom	1102	1





LOW RISE UNIT AREAS			
LOWER LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit A	Live/Work Studio, 1 Bedroom	787	1
Unit C	Live/Work Studio, 1 Bedroom	663	1
Unit D	Live/Work Studio, 1 Bedroom	676	1
Unit E	Live/Work Studio, 1 Bedroom	689	1
Unit F	Live/Work Studio, 1 Bedroom	702	1
MAIN LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit A	Live/Work Studio, 1 Bedroom	622	1
Unit B	Live/Work Studio, 1 Bedroom	635	1
Unit C	Live/Work Studio, 1 Bedroom	648	1
Unit D	Live/Work Studio, 1 Bedroom	661	1
Unit E	Live/Work Studio, 1 Bedroom	653	1
Unit F	Live/Work Studio, 1 Bedroom	644	1
LEVEL 3	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit A	Live/Work Studio, 1 Bedroom	622	1
Unit B	Live/Work Studio, 1 Bedroom	635	1
Unit C	Live/Work Studio, 1 Bedroom	648	1
Unit D	Live/Work Studio, 1 Bedroom	661	1
Unit E	Live/Work Studio, 1 Bedroom	653	1
Unit F	Live/Work Studio, 1 Bedroom	644	1
LEVEL 2	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit A	Live/Work Studio, 1 Bedroom	622	1
Unit B	Live/Work Studio, 1 Bedroom	635	1
Unit C	Live/Work Studio, 1 Bedroom	648	1
Unit D	Live/Work Studio, 1 Bedroom	661	1
Unit E	Live/Work Studio, 1 Bedroom	653	1
Unit F	Live/Work Studio, 1 Bedroom	644	1

NORTH MEWS UNIT AREAS			
MAIN LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	Retail / Commercial	3233	1

EAST MEWS UNIT AREAS			
LOWER LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	Retail / Commercial	737	1
MAIN LEVEL	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	Retail / Commercial	2631	1
Unit 2	Retail / Commercial	820	1
LEVEL 2	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 1	1 Bedroom	596	1
Unit 2	1 Bedroom	551	1
Unit 3	1 Bedroom	716	1
Unit 4	1 Bedroom	541	1
Unit 5	2 Bedroom	1121	1
LEVEL 3	TYPE	AREA SQ. FT.	NO. OF UNITS
Unit 6	2 Bedroom	1121	1

**GROSS AREA CALCULATIONS, FENWICK TOWER REDEVELOPMENT**

January 31st, 2014



SOUTH TOWER GROSS UNIT AREAS	SQ. FT
PARKING 3 TOTAL FLOOR AREA	21,253
PARKING 2 TOTAL FLOOR AREA	21,253
PARKING 1 TOTAL FLOOR AREA	20,039
MAIN LEVEL 1 TOTAL FLOOR AREA	9,291
LEVEL 2 TOTAL FLOOR AREA	6,160
LEVELS 3-8 TOTAL FLOOR AREA	10882 X 6
LEVEL 9 TOTAL FLOOR AREA	65,292
LEVEL 10 TOTAL FLOOR AREA	10,659
LEVEL 11 TOTAL FLOOR AREA	6,059
<b>SOUTH TOWER GROSS AREA</b>	<b>160,006</b>

WEST TOWER GROSS UNIT AREAS	SQ. FT
PARKING 3 TOTAL FLOOR AREA	9,097
PARKING 2 TOTAL FLOOR AREA	9,097
PARKING 1 TOTAL FLOOR AREA	9,097
LOWER LEVEL TOTAL FLOOR AREA	9,097
MAIN LEVEL TOTAL FLOOR AREA	4,722
LEVEL 2 TO 8 TOTAL FLOOR AREA	5966 X 7
ROOF TOTAL FLOOR AREA	708
<b>WEST TOWER GROSS AREA</b>	<b>83,880</b>

FENWICK TOWER GROSS UNIT AREAS	SQ. FT
PARKING 3 TOTAL FLOOR AREA	35,175
PARKING 2 TOTAL FLOOR AREA	35,175
PARKING 1 TOTAL FLOOR AREA	36,863
LOWER LEVEL TOTAL FLOOR AREA	28,635
MAIN LEVEL TOTAL FLOOR AREA	8,242
LEVEL 2 TOTAL FLOOR AREA	9,110
LEVEL 3 TOTAL FLOOR AREA	9,080
LEVEL 4 TOTAL FLOOR AREA	9,021
LEVEL 5-30 TOTAL FLOOR AREA	9021 X 25
LEVEL 31 TOTAL FLOOR AREA	225,525
LEVEL 32 TOTAL FLOOR AREA	9,546
LEVEL 33 TOTAL FLOOR AREA	9,546
<b>FENWICK TOWER GROSS AREA</b>	<b>424,964</b>

LOW RISE GROSS UNIT AREAS	SQ. FT
LOWER LEVEL TOTAL FLOOR AREA	5,413
MAIN LEVEL TOTAL FLOOR AREA	5,336
LEVEL 2 TOTAL FLOOR AREA	5,277
LEVEL 3 TOTAL FLOOR AREA	5,277
<b>LOW RISE GROSS AREA</b>	<b>21,303</b>

EAST MEWS GROSS UNIT AREAS	SQ. FT
LOWER LEVEL TOTAL FLOOR AREA	1,053
MAIN LEVEL TOTAL FLOOR AREA	4,065
LEVEL 2 TOTAL FLOOR AREA	5,198
LEVEL 3 TOTAL FLOOR AREA	2,045
LEVEL 4 TOTAL FLOOR AREA	962
<b>EAST MEWS GROSS AREA</b>	<b>13,313</b>

NORTH MEWS GROSS UNIT AREAS	SQ. FT
MAIN LEVEL TOTAL FLOOR AREA	4,376
<b>NORTH MEWS GROSS AREA</b>	<b>4,376</b>

**UNIT COUNT CALCULATIONS, FENWICK TOWER REDEVELOPMENT**

April 29th, 2014



SOUTH TOWER UNIT COUNT	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Level 8	Level 9 & 10 Penthouses	Total
One Bedroom	5	6	6	6	6	6	6	7	48
Two Bedroom	2	6	6	6	6	6	6	4	42
Three Bedroom	0	0	0	0	0	0	0	1	1

South Tower Parking Spaces: P3:27, P2:41, P1:23 = Total: 91

South Tower Bike Spaces: P1:27

WEST TOWER UNIT COUNT	Level 2	Level 3	Level 4	Level 5	Level 6	Level 7	Level 8	Total
One Bedroom	8	8	8	8	8	8	0	48
Two Bedroom	0	0	0	0	0	0	4	4

West Tower Parking Spaces: P3:18, P2:18, P1:18 LL:4 = Total: 58

West Tower Bike Spaces:

FENWICK TOWER UNIT COUNT	Main Level	Level 2	Level 3	Level 4	Levels 5-30	Level 31	Level 32	Level 33	Total
Live/Work Studio	0	5	0	0	0	0	0	0	5
Studio	0	0	2	2	50	2	2	0	58
One Bedroom	3	0	1	1	25	0	0	0	30
Two Bedroom	1	0	6	6	150	4	7	6	180

Fenwick Tower Parking Spaces: P3:83, P2:83, P1:57 = Total: 223

Fenwick Tower Bike Spaces: P1:134

TWNHS BLDG UNIT COUNT	Lower Level	Main	Level 2	Level 3	Total
Live/Work Studio	5	6	6	6	23
Two Bedroom	0	0	0	0	0

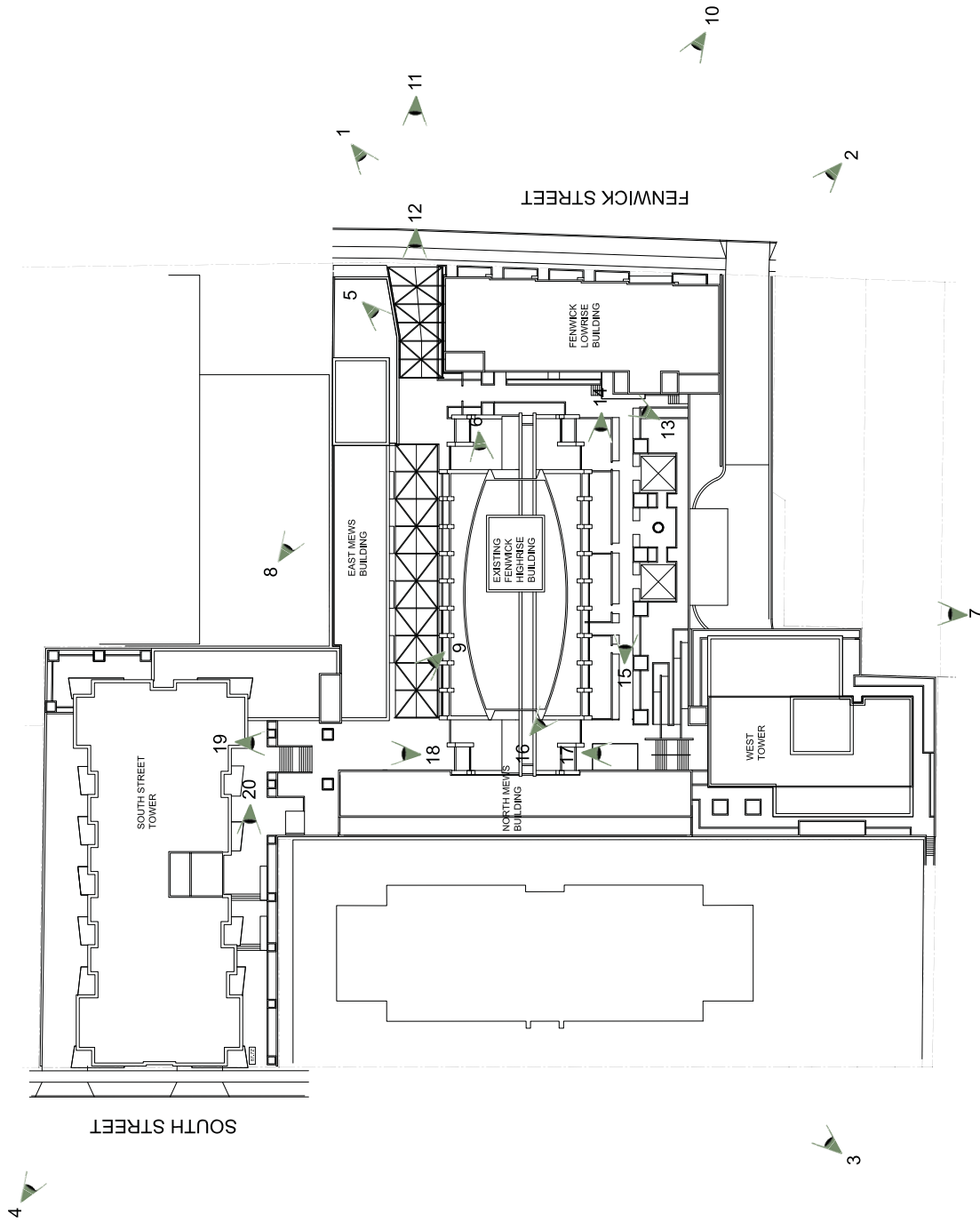
EAST MEWS UNIT COUNT	Main	Level 2	Level 3	Total
One Bedroom	0	4	0	4
Two Bedroom	0	1	1	2

**Total Units: 445**

**Total Family Units \*: 229 OR 51.46%**

\* Indicates 2 or more bedroom apartments

\*\* There shall be a minimum of 275 vehicular parking spaces. Level P3 may be converted partially or entirely into a storage area at a later date.



# Fenwick Tower Redevelopment

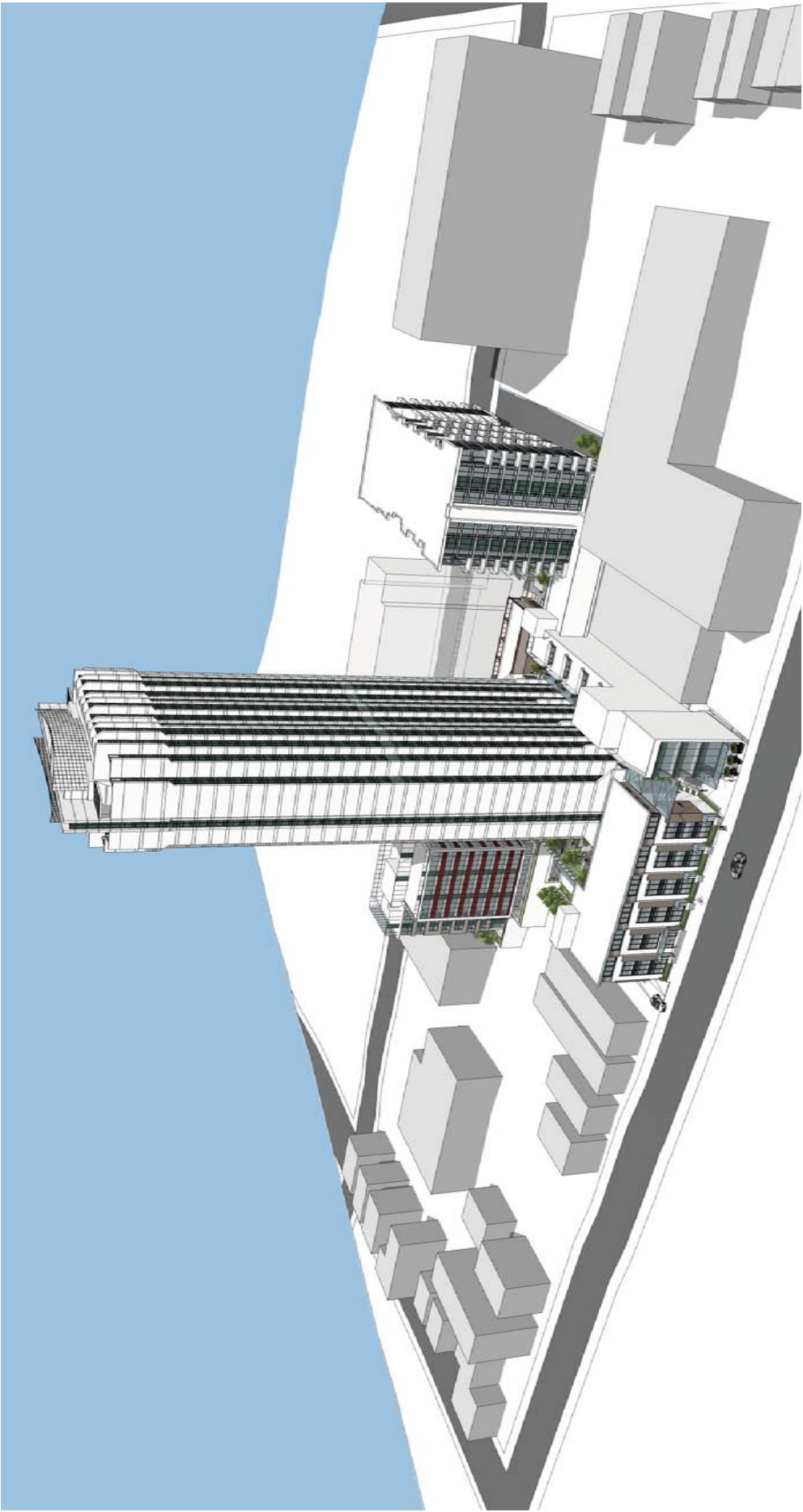
## View Legend Plan

January 31<sup>st</sup> 2014

All 3D images are artist's interpretation of architectural drawings and they may not correctly represent materials, features and colors of the proposed development. Please refer to the latest edition of architectural and landscape drawings for the correct information.







## **Fenwick Tower Redevelopment** **Fenwick Street bird's-eye view**

**View 1**

**January 31<sup>st</sup> 2014**

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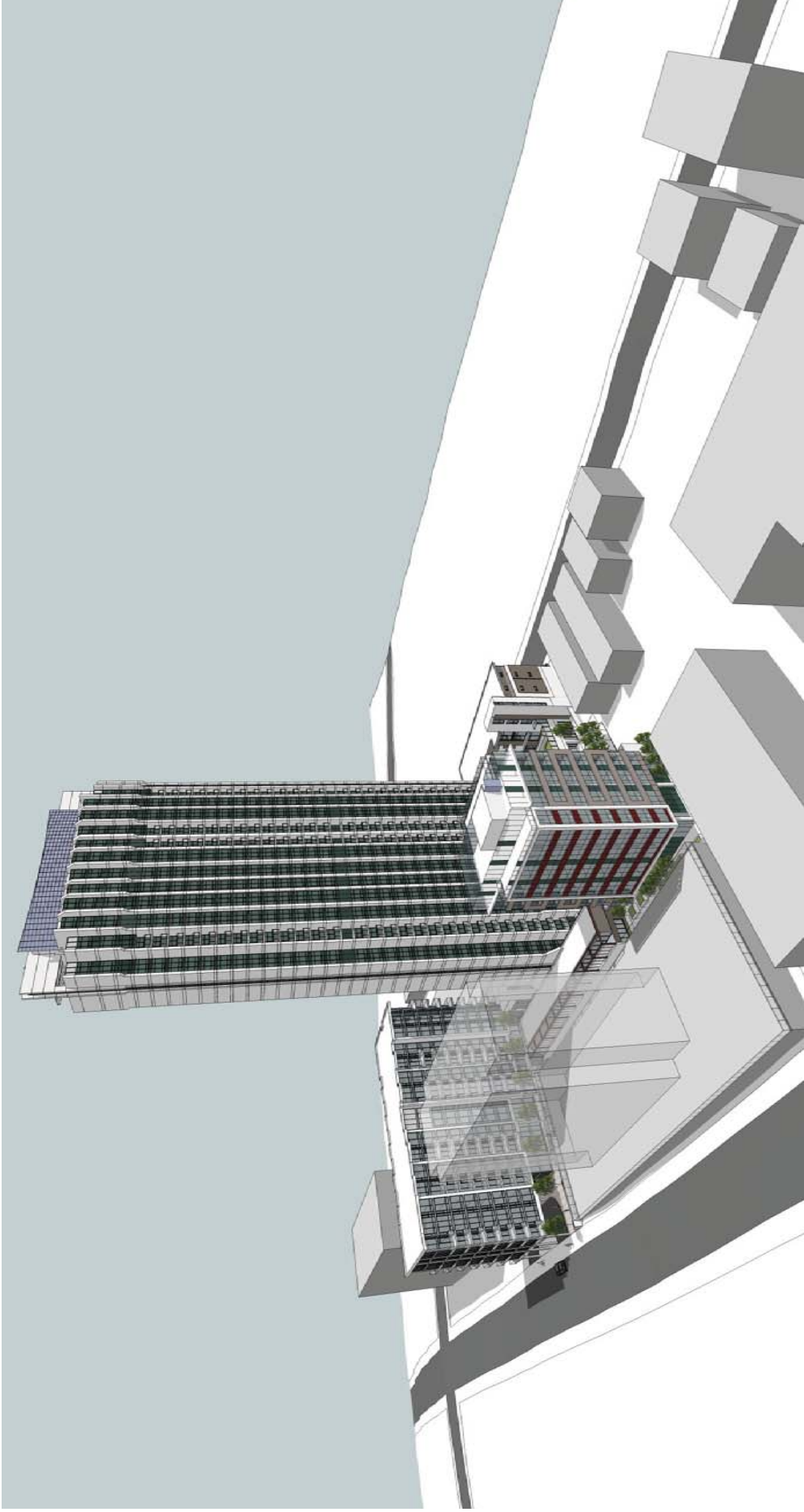
## **Fenwick Tower Redevelopment** **Fenwick Street bird's-eye view**

**View 2**

**January 31<sup>st</sup> 2014**

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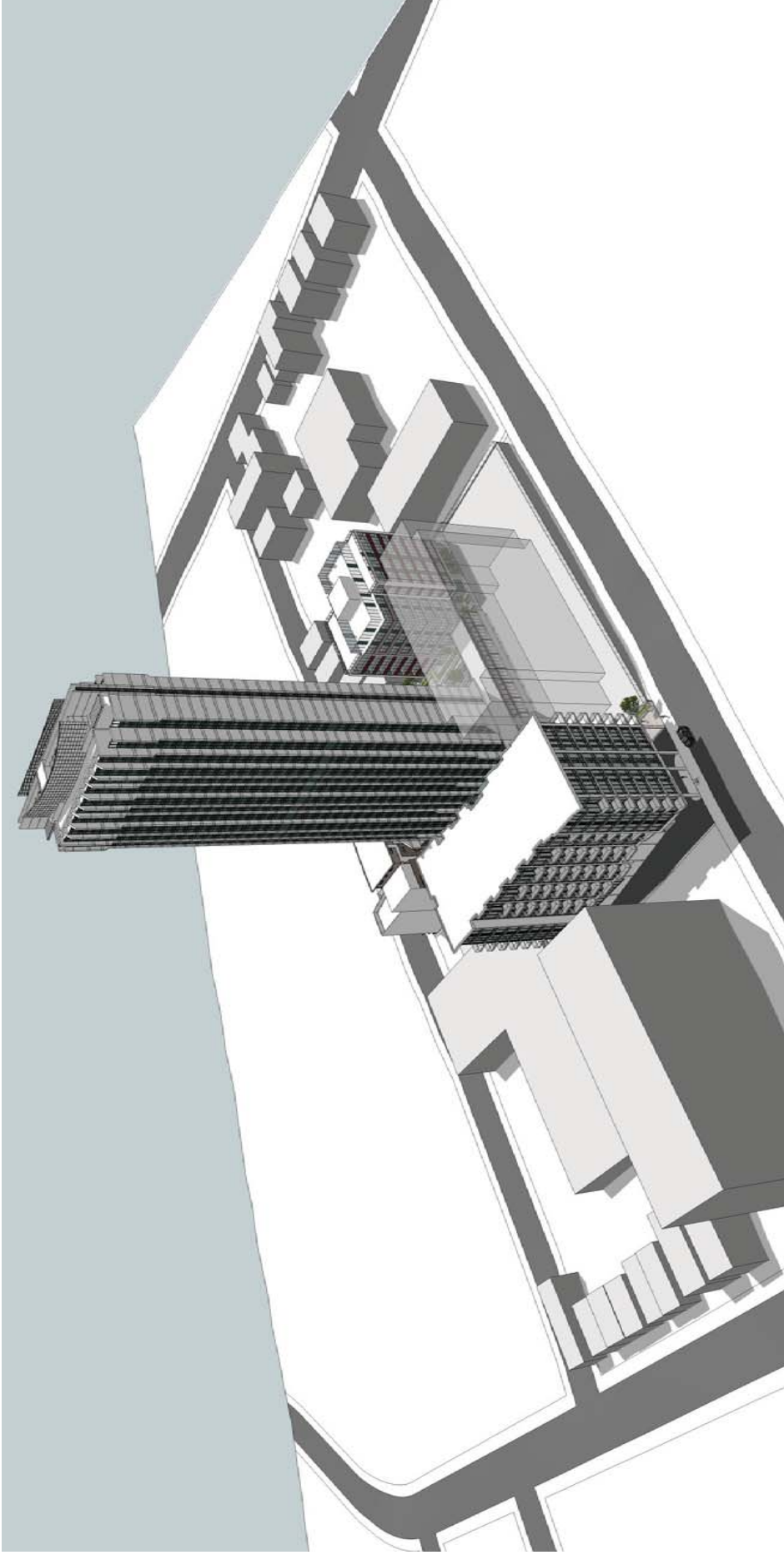
## **Fenwick Tower Redevelopment** **South Street bird's-eye view**

**View 3**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment South Street bird's-eye view**

**View 4**

January 31<sup>st</sup> 2014

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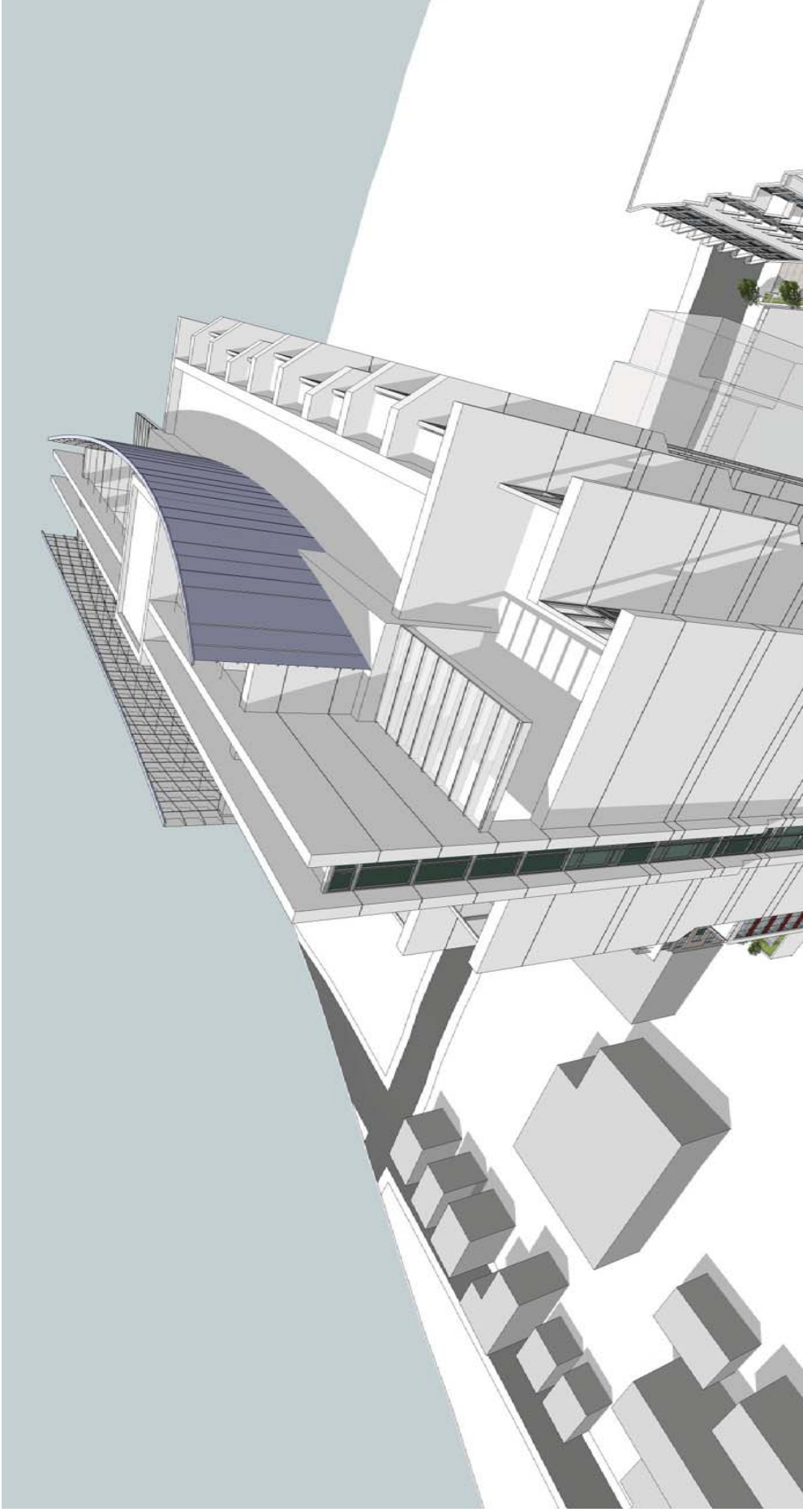
## **Fenwick Tower Redevelopment Overall site perspective view**

**View 5**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment Penthouse deck and mechanical enclosure**

**View 6**

**January 31<sup>st</sup> 2014**

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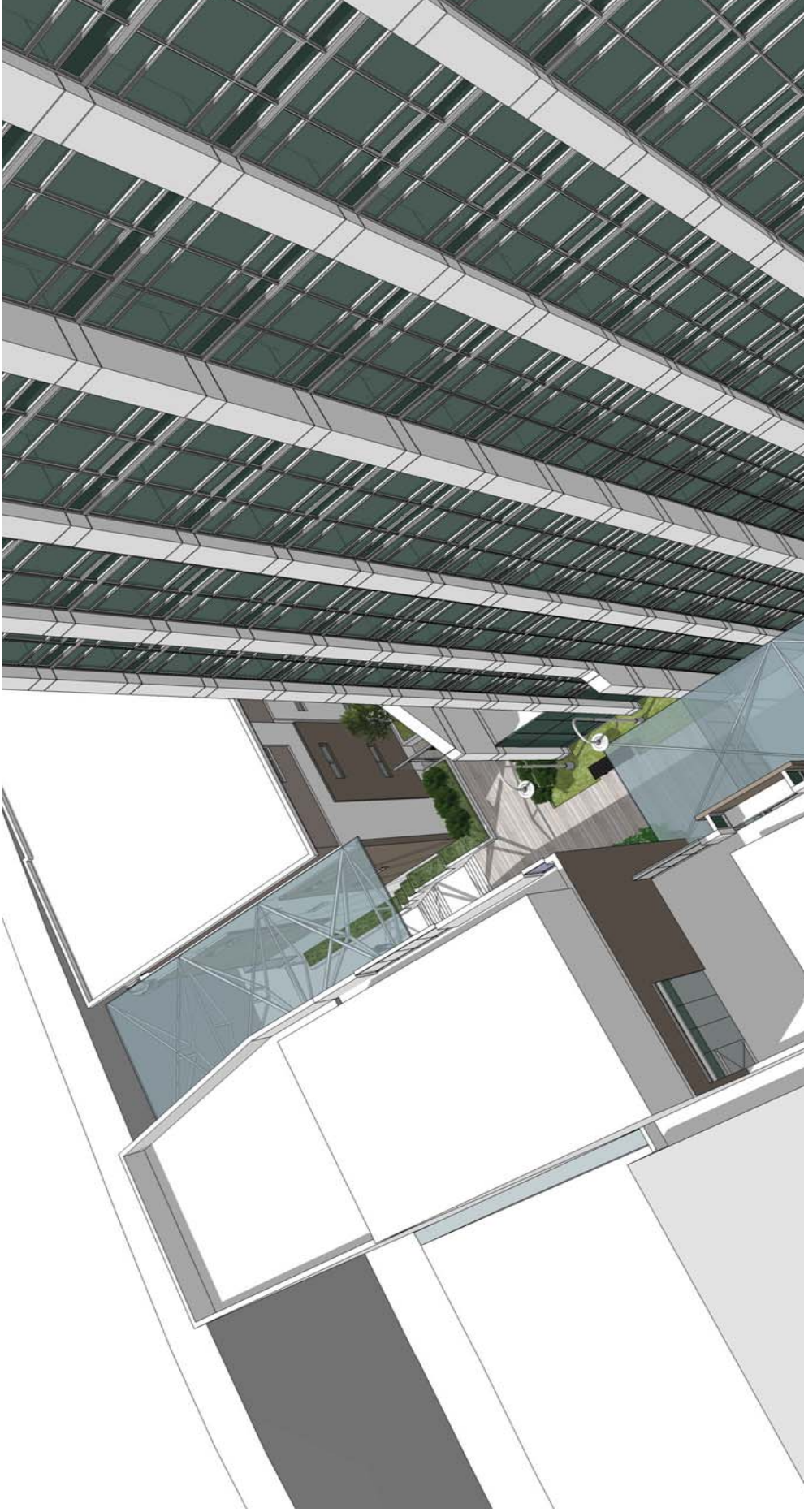


## View 7

January 31<sup>st</sup> 2014

## Fenwick Tower Redevelopment View of West Tower, west Porte Cochere and the landscaped semi-private courtyard

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**Fenwick Tower Redevelopment**  
**Bird's-eye view into public walkway at the Fenwick Street entry**

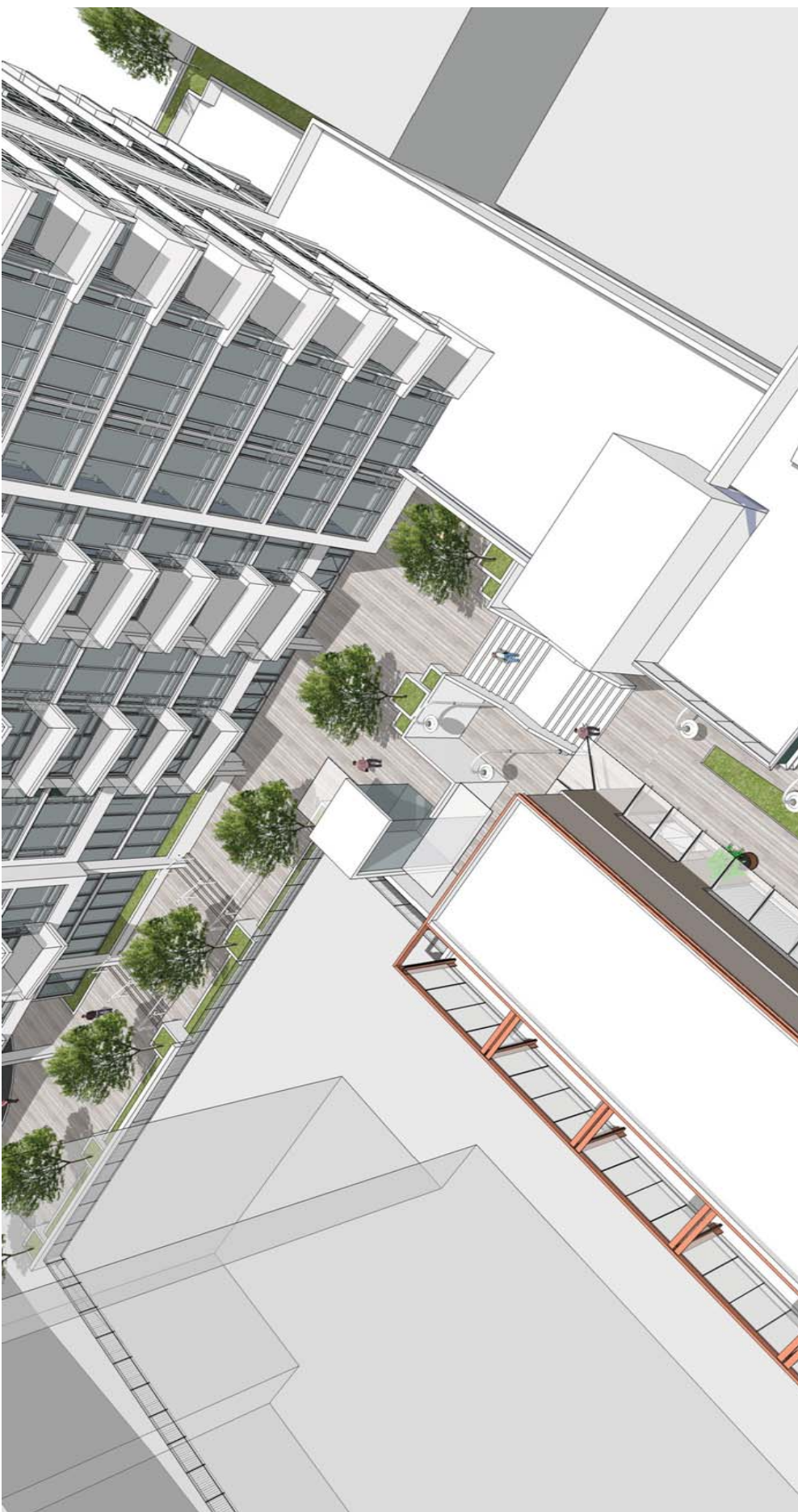
**View 8**

January 31<sup>st</sup> 2014

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**Fenwick Tower Redevelopment  
View from Fenwick Tower towards the public pedestrian walkway**

**View 9**

January 31<sup>st</sup> 2014

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## **Fenwick Tower Redevelopment View from Fenwick Street**

**View 10**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment View of the public entry from Fenwick Street**

**View 11**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment View of the public entry from Fenwick Street**

**View 12**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment View of the semi-private landscaped walkway at the south end of tower**

**View 13**

**January 31<sup>st</sup> 2014**

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**Fenwick Tower Redevelopment**  
**View towards West Tower from the landscaped semi-private courtyard**

**View 14**

January 31<sup>st</sup> 2014

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## **Fenwick Tower Redevelopment View of walkway in the semi-private courtyard**

**View 15**  
January 31<sup>st</sup> 2014

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## **Fenwick Tower Redevelopment View of landscaped semi-private courtyard**

**View 16**

January 31<sup>st</sup> 2014

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## **Fenwick Tower Redevelopment View of the West Tower main entry**

**View 17**

**January 31<sup>st</sup> 2014**

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## **Fenwick Tower Redevelopment View towards South Street Tower from public walkway**

**View 18**

January 31<sup>st</sup> 2014

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**Fenwick Tower Redevelopment  
View from the South Street Tower towards Fenwick Tower**

**View 19**

January 31<sup>st</sup> 2014

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## **Fenwick Tower Redevelopment View towards South Street from the public walkway**

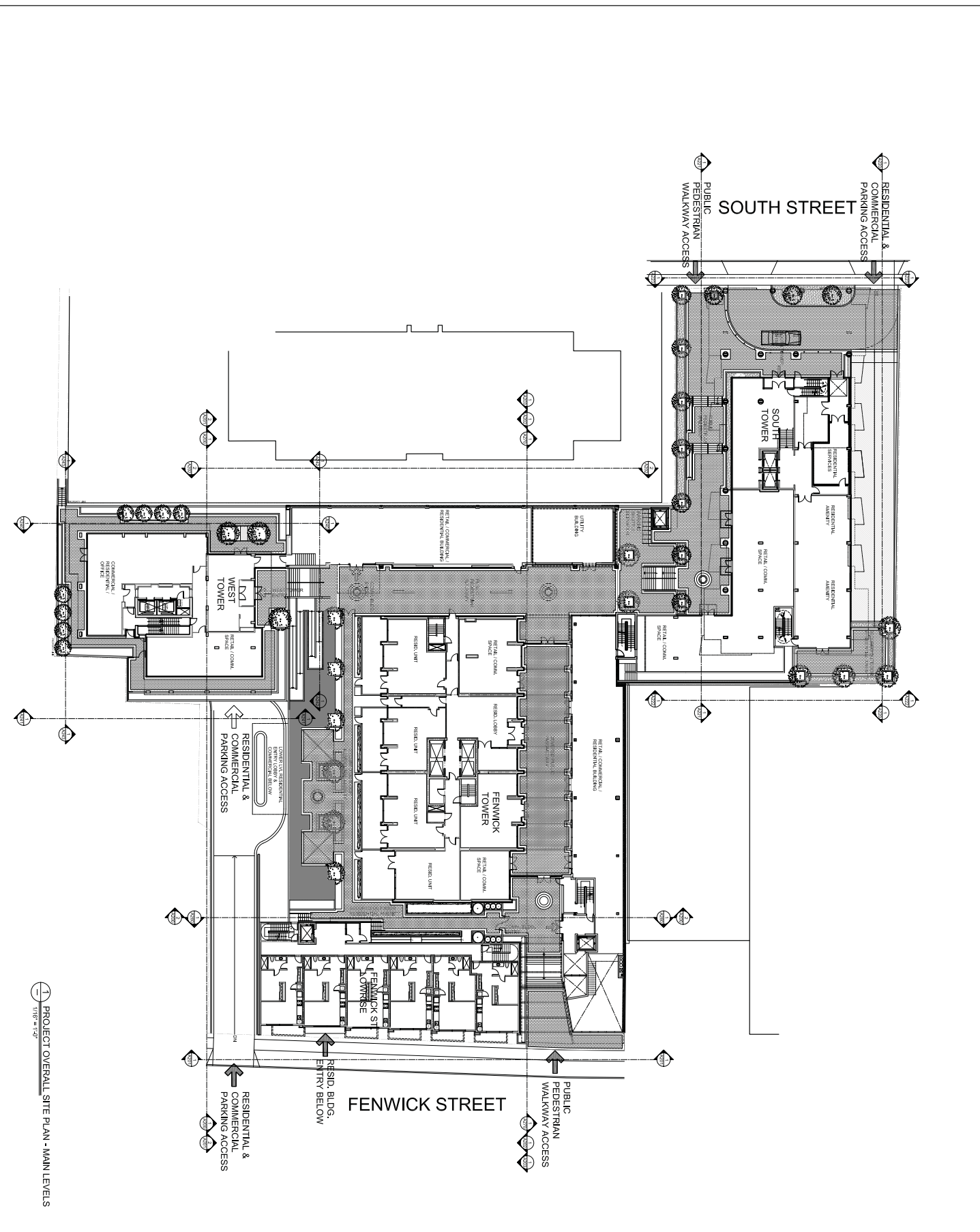
**View 20**

**January 31<sup>st</sup> 2014**

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PROJECT OVERALL SITE PLAN - MAIN LEVELS  
 TITLE: 14-100



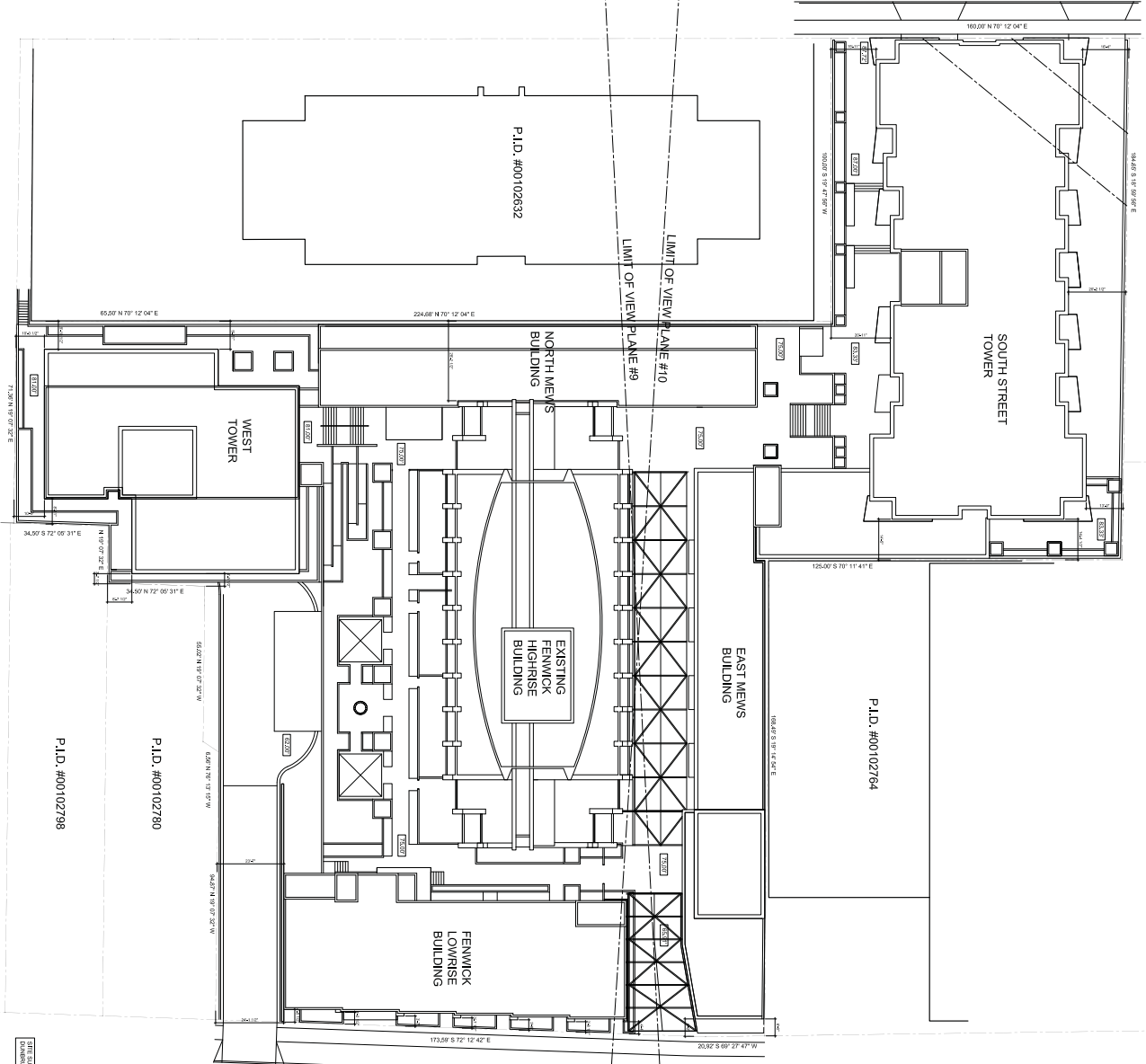
### DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
 Redevelopment**  
 for Templeton Properties  
 5599 Fenwick Street  
 Halifax, Nova Scotia

**AVRP  
 ARCHITECTURE  
 INC.**  
 5101 Bishop Street  
 Vancouver, British Columbia  
 Canada V6S 2T9  
 Phone: (604) 682-4879  
 Fax: (604) 682-4878  
 Web: www.avrp.ca

This is a preliminary drawing. It is not intended for construction. It is subject to change without notice. It is not to be used for any other purpose without the prior written consent of AVRP ARCHITECTURE INC. The project is subject to the approval of the relevant authorities. The drawing is not to be used for any other purpose without the prior written consent of AVRP ARCHITECTURE INC.

SOUTH STREET



FENWICK STREET

PROJECT OVERALL SITE PLAN - MAIN LEVELS

THE STAFF OF ARCHITECTURE INC. HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY OF HALIFAX. THE PLAN IS VALID FOR 12 MONTHS FROM THE DATE OF ISSUANCE.



# DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia

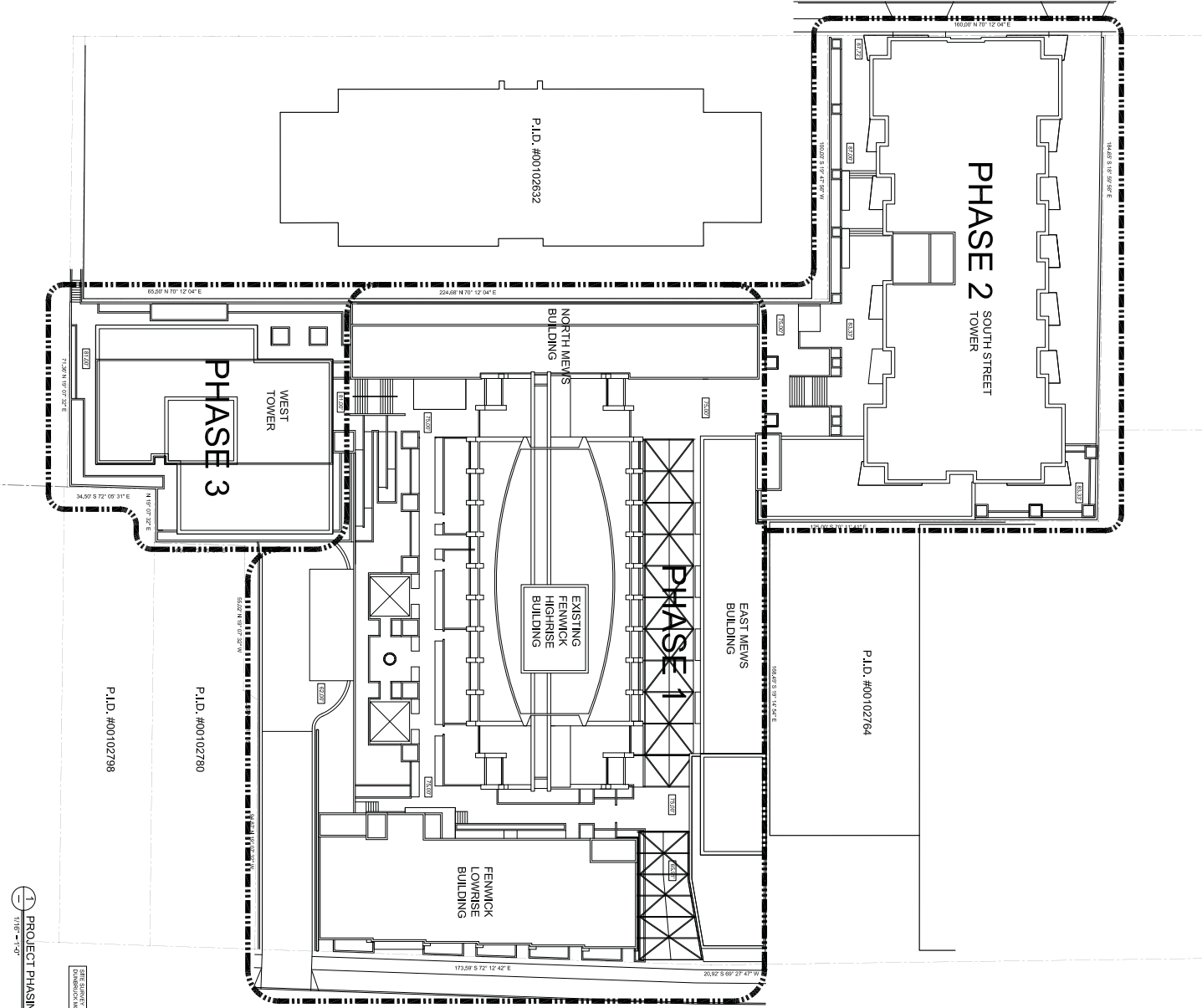


This is a development agreement and not a contract. It is subject to the terms and conditions of the development agreement. The plan is valid for 12 months from the date of issuance. The plan is subject to the requirements of the Municipality of Halifax. The plan is valid for 12 months from the date of issuance.

NO.	REVISION	DATE	BY	DESCRIPTION
1	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
2	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
3	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
4	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
5	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
6	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
7	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
8	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
9	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT
10	ISSUE FOR PERMIT	2013.01.13	AVRP	ISSUE FOR PERMIT

A101

SOUTH STREET



FENWICK STREET

PROJECT PHASING PLAN - MAIN LEVELS  
 11/18/14

THE ABOVE INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT A CONTRACT. THE CONTRACT IS THE DEVELOPMENT AGREEMENT DATED JANUARY 13, 2012.

P.I.D. #00102798  
 P.I.D. #00102780  
 P.I.D. #00102764

P.I.D. #41030735  
 5599 FENWICK STREET



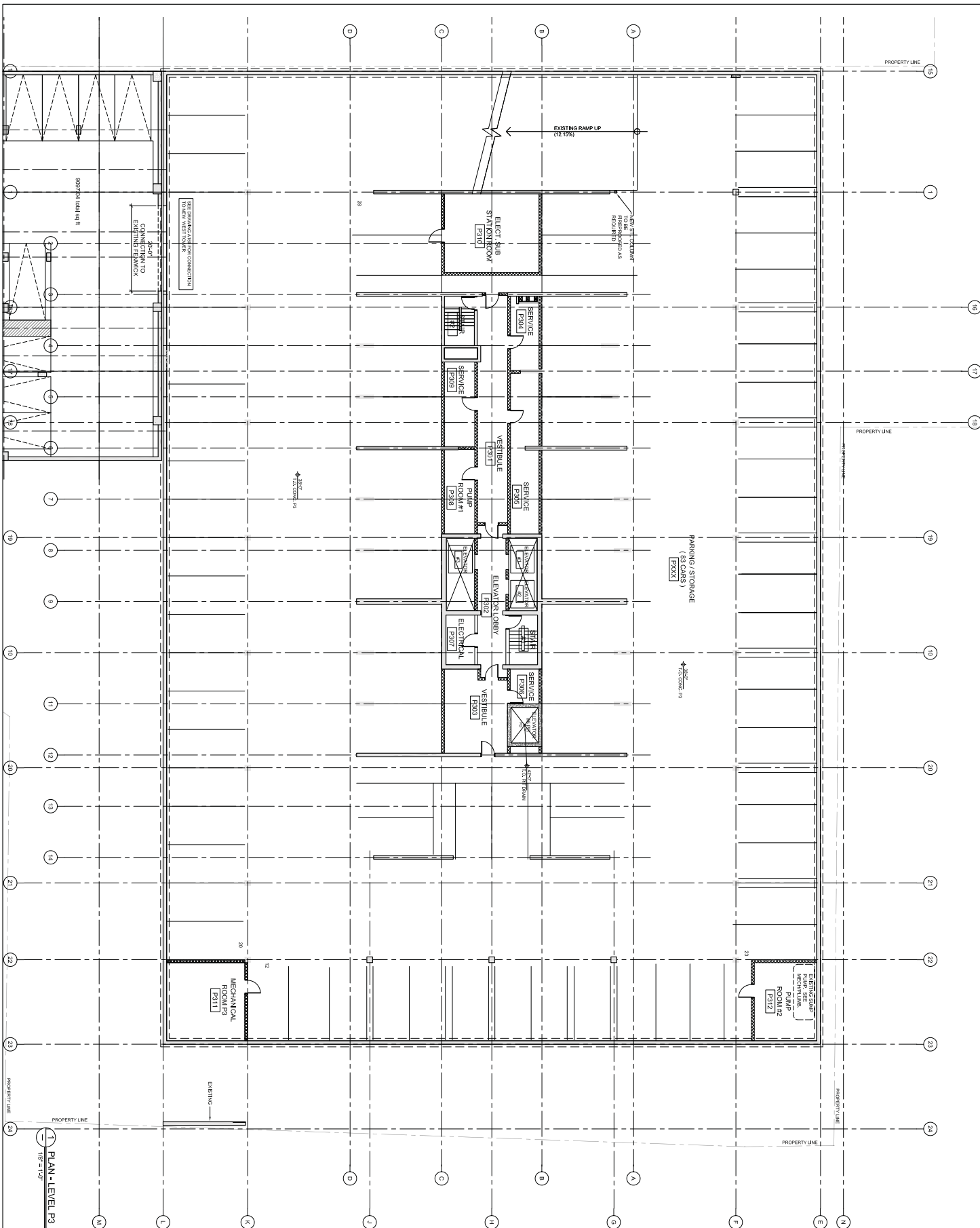
## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower Redevelopment**  
 for Templeton Properties  
 5599 Fenwick Street  
 Halifax, Nova Scotia



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1 PLAN - LEVEL P3  
1/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	REVISION	
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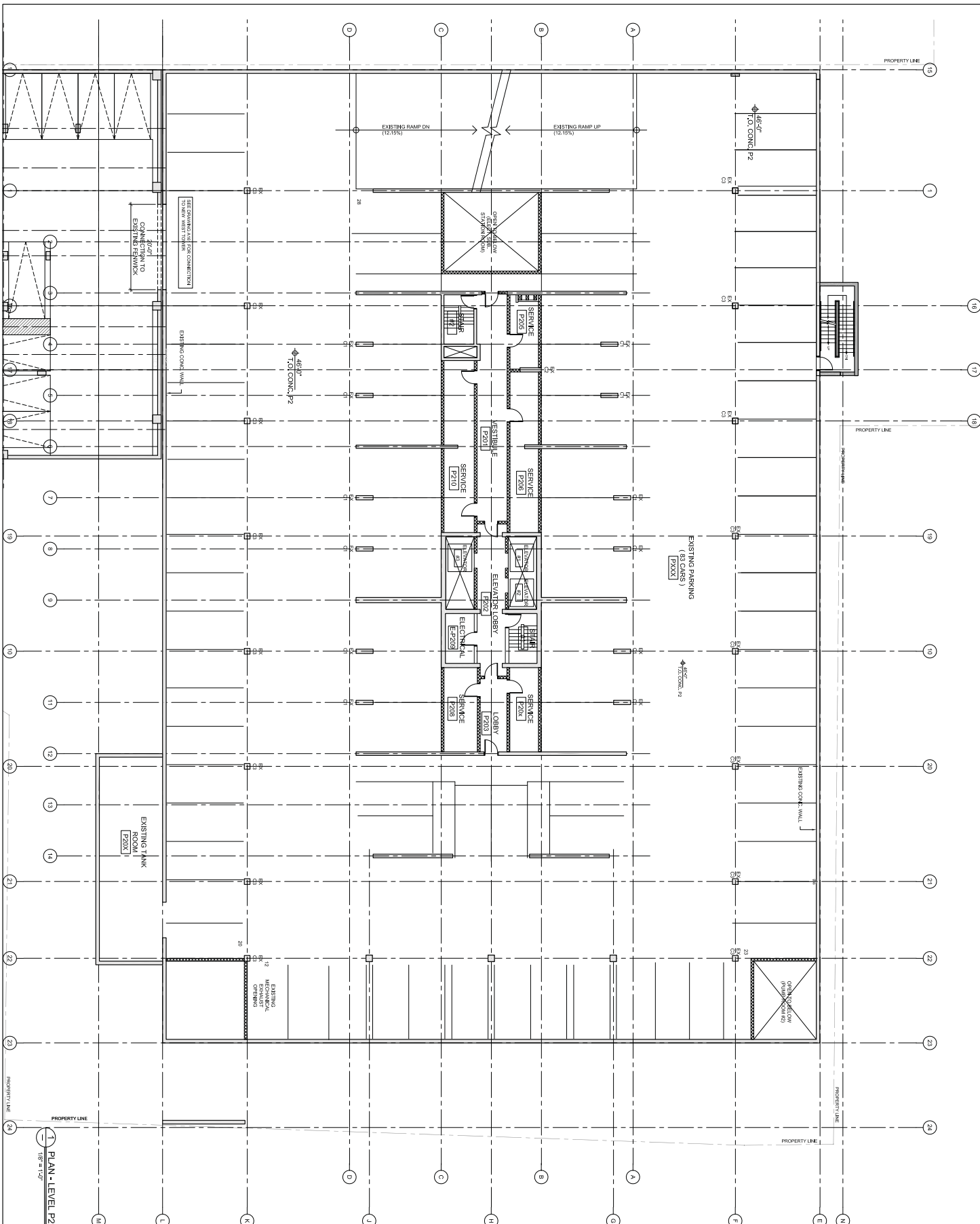
## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia**



**AVRP  
ARCHITECTURE  
INC.**  
5100 Bessie Street  
Vancouver, British Columbia  
Canada V6B 3C1  
Phone: (604) 682-4879  
Fax: (604) 682-4878  
Web: www.avrp.ca

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1 PLAN - LEVEL P2  
1/8" = 1'-0"

PLAN LEVEL P2

A111



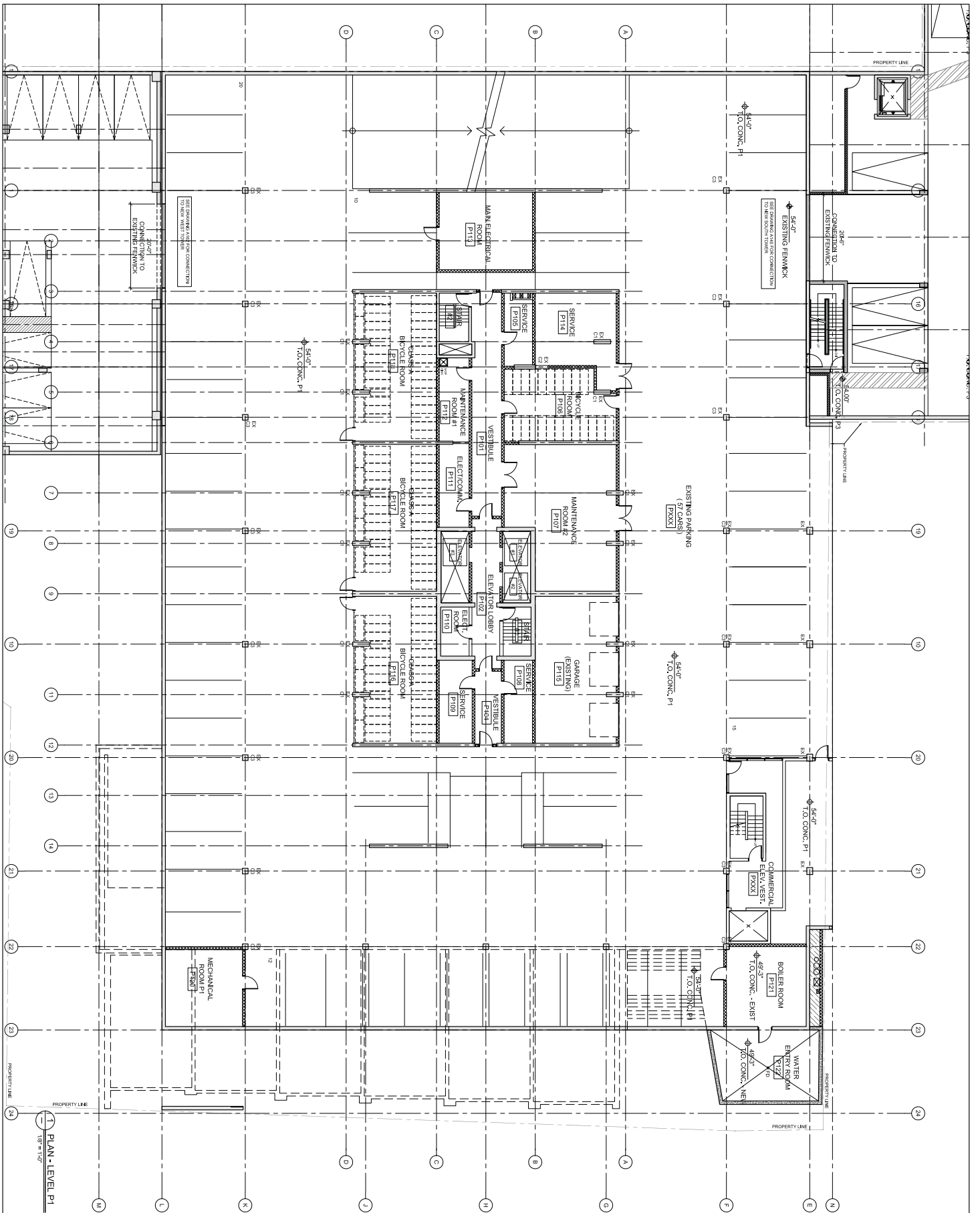
# DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia**

**AVRP  
ARCHITECTURE  
INC.**  
5100 Bessborough Street  
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Tel: (604) 682-4179  
Fax: (604) 682-4178  
Web: www.avrp.ca

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NO.	DATE	DESCRIPTION
1	11/20/2018	ISSUE FOR PERMITTING
2	11/20/2018	ISSUE FOR PERMITTING
3	11/20/2018	ISSUE FOR PERMITTING
4	11/20/2018	ISSUE FOR PERMITTING
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22	11/20/2018	ISSUE FOR PERMITTING
23	11/20/2018	ISSUE FOR PERMITTING
24	11/20/2018	ISSUE FOR PERMITTING



PLAN - LEVEL P1  
1/16" = 1'-0"

MECHANICAL ROOM P1  
PLAN P1

NO.	REVISION	DATE	BY	CHKD.



**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia

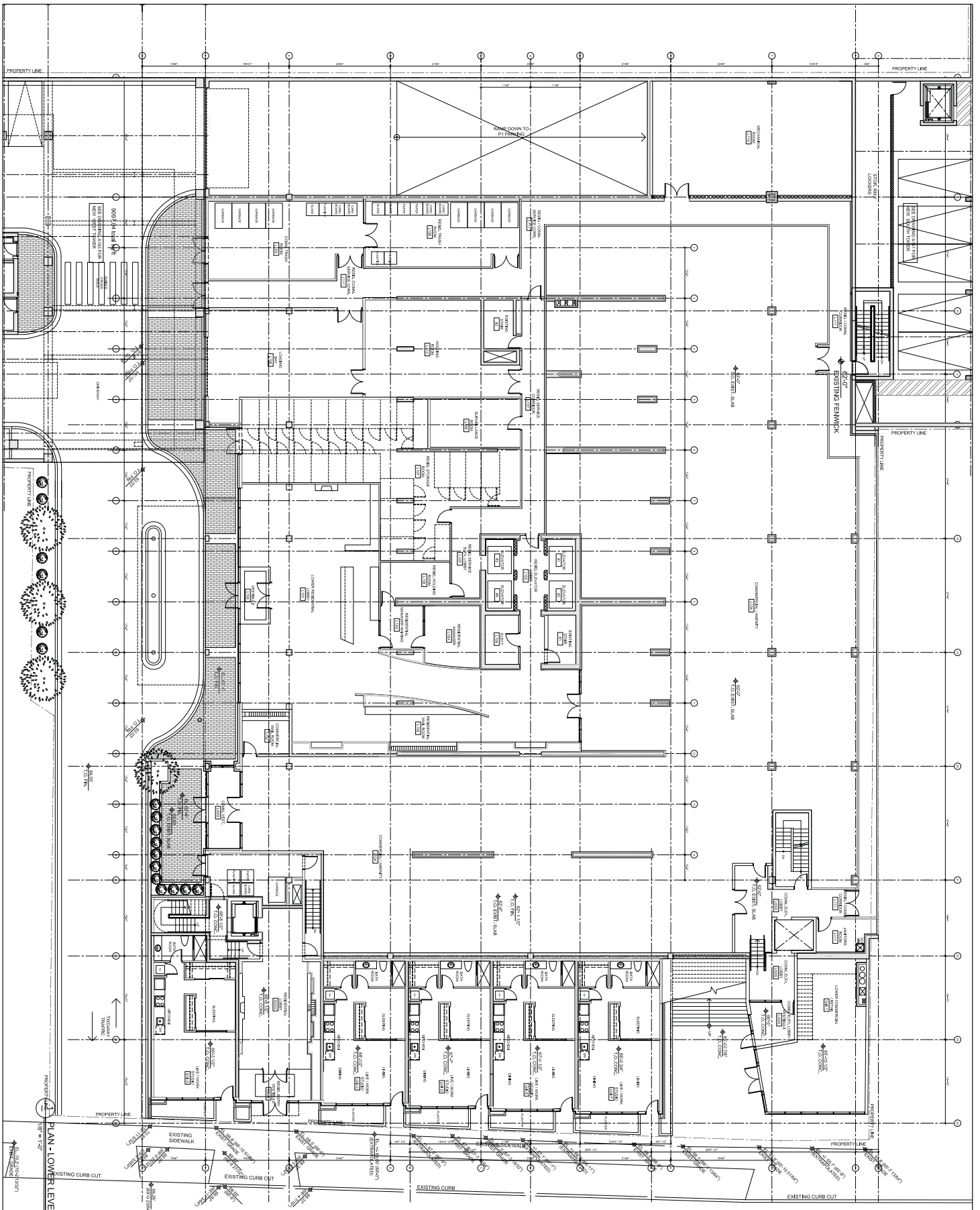
## DEVELOPMENT AGREEMENT AMENDMENT

NO.	REVISION	DATE	BY	CHKD.

AVRP  
ARCHITECTURE  
INC.

5101 Bessborough Street  
Vancouver, British Columbia  
Canada V6B 3C7  
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Web: www.avrp.ca

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PLAN - LOWER LEVEL



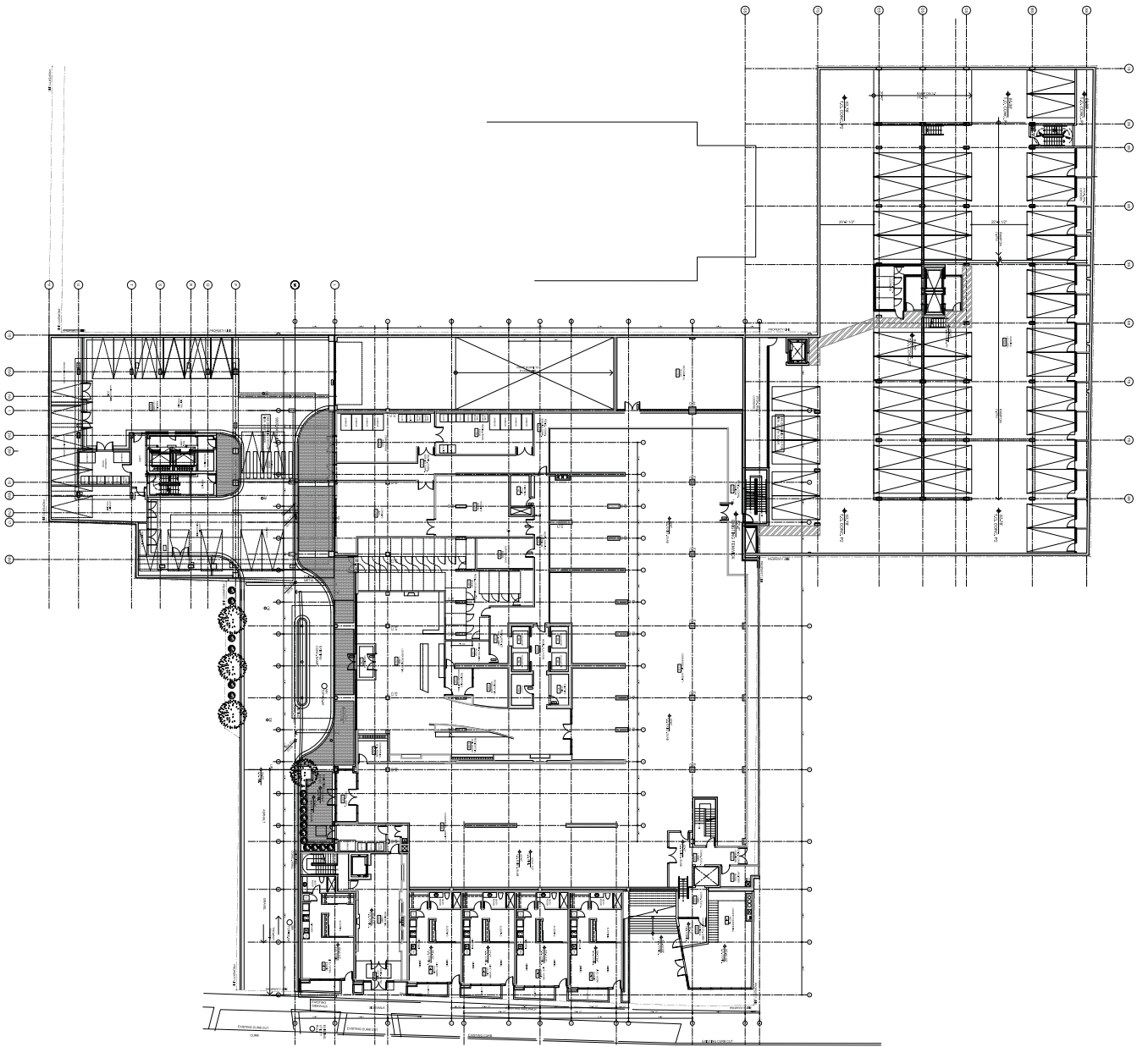
**Fenwick Tower  
Redevelopment  
for Templeton Properties**  
5599 Fenwick Street  
Halifax, Nova Scotia

NO.	REVISION	DATE
1	ISSUE FOR PERMIT APPLICATION	2014.11.10
2	ISSUE FOR CONSTRUCTION	2015.03.10
3	ISSUE FOR CONSTRUCTION	2015.03.10
4	ISSUE FOR CONSTRUCTION	2015.03.10
5	ISSUE FOR CONSTRUCTION	2015.03.10
6	ISSUE FOR CONSTRUCTION	2015.03.10
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11	ISSUE FOR CONSTRUCTION	2015.03.10
12	ISSUE FOR CONSTRUCTION	2015.03.10
13	ISSUE FOR CONSTRUCTION	2015.03.10
14	ISSUE FOR CONSTRUCTION	2015.03.10

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NO.	REVISION	DATE
1	ISSUE FOR PERMIT APPLICATION	2014.11.10
2	ISSUE FOR CONSTRUCTION	2015.03.10
3	ISSUE FOR CONSTRUCTION	2015.03.10
4	ISSUE FOR CONSTRUCTION	2015.03.10
5	ISSUE FOR CONSTRUCTION	2015.03.10
6	ISSUE FOR CONSTRUCTION	2015.03.10
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11	ISSUE FOR CONSTRUCTION	2015.03.10
12	ISSUE FOR CONSTRUCTION	2015.03.10
13	ISSUE FOR CONSTRUCTION	2015.03.10
14	ISSUE FOR CONSTRUCTION	2015.03.10



PLAN - LOWER LEVEL  
 1/16" = 1'-0"

PLAN  
 LOWER LEVEL  
 PROJECT SITE

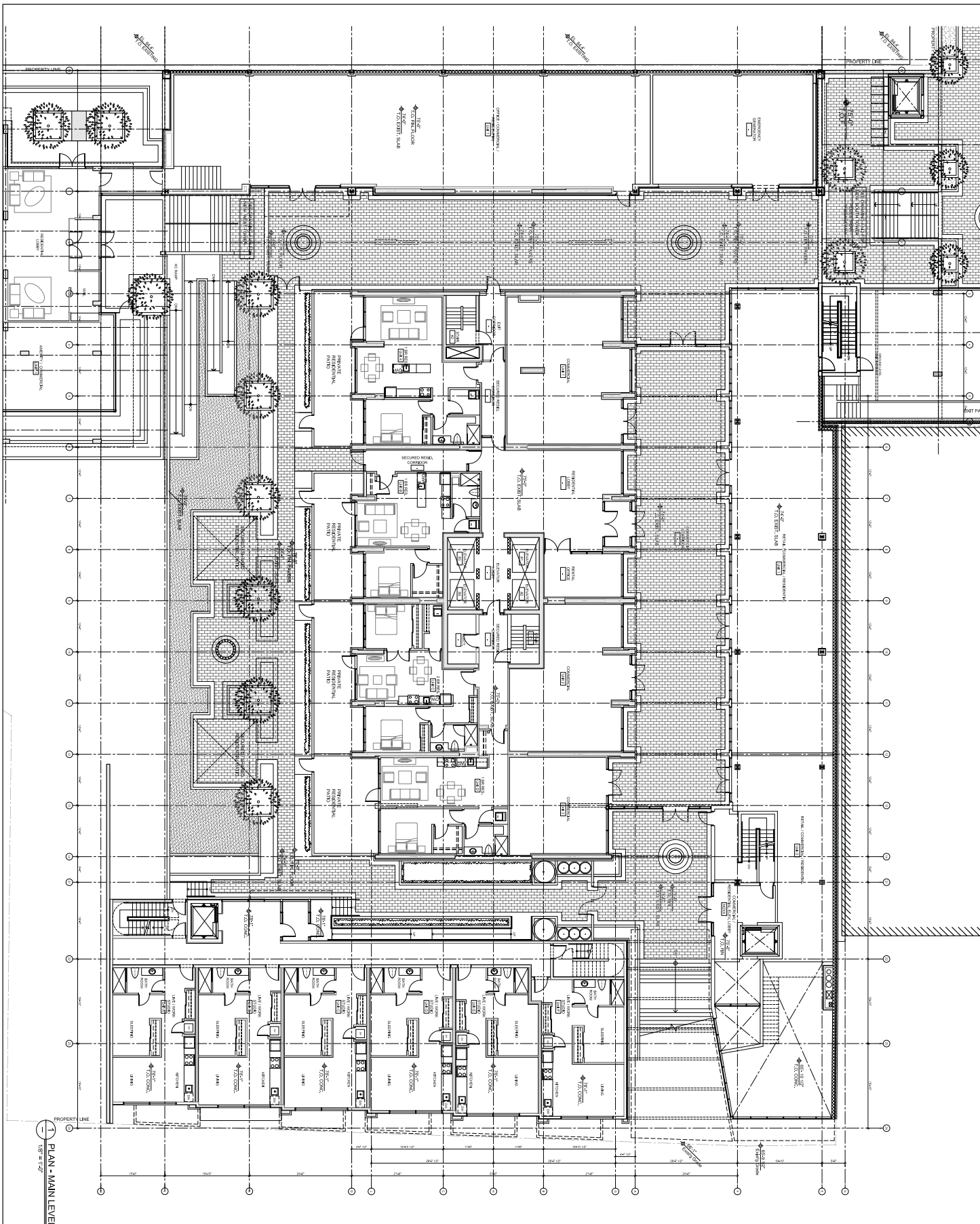


**Fenwick Tower  
 Redevelopment**  
*for Templeton Properties*  
 5599 Fenwick Street  
 Halifax, Nova Scotia



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NO.	REVISION	DATE	BY	CHKD.



PLAN - MAIN LEVEL  
1/8" = 1'-0"

PLAN MAIN LEVEL  
A114

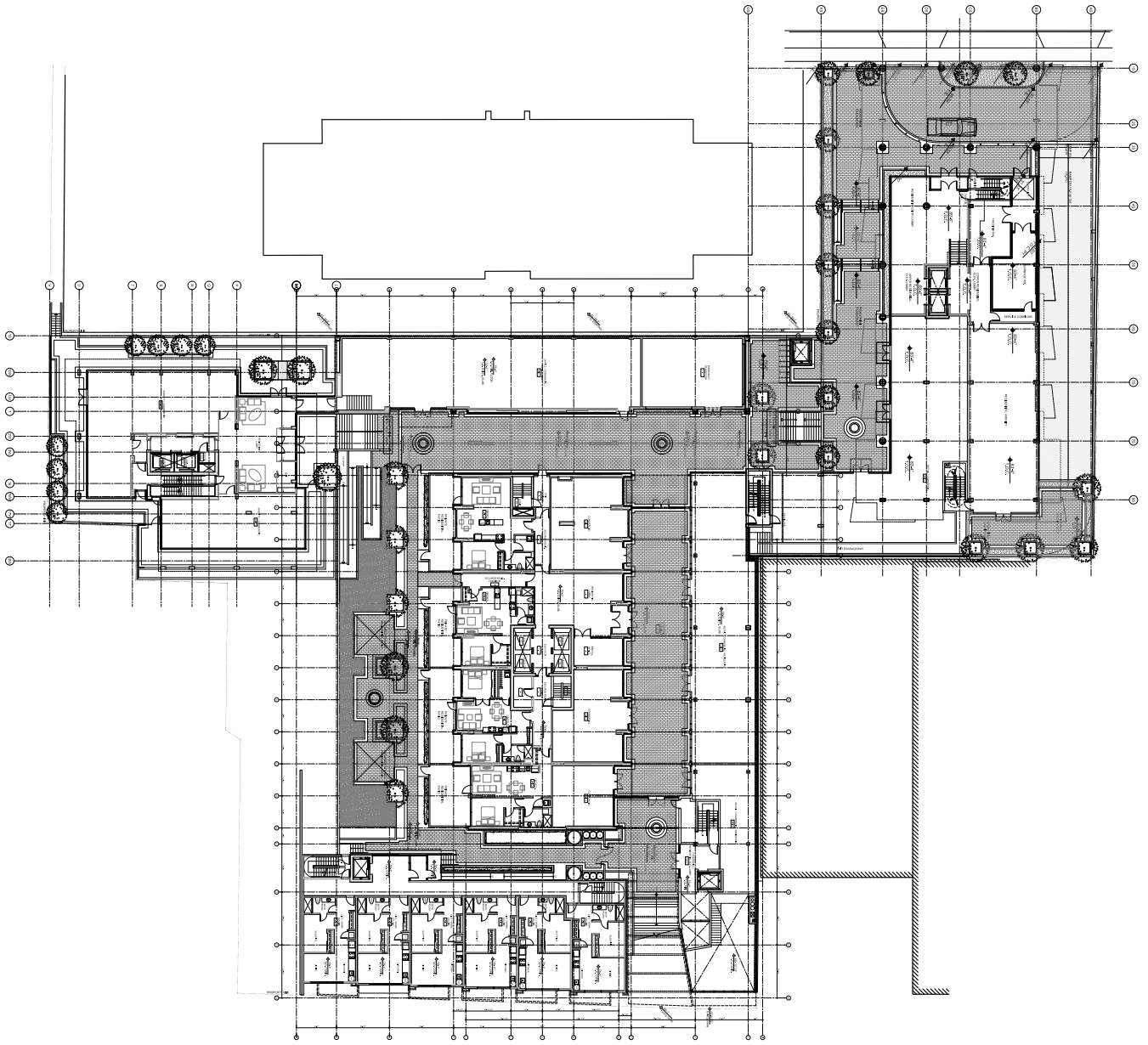


**DEVELOPMENT AGREEMENT  
AMENDMENT**

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia

**AVRP ARCHITECTURE INC.**  
510 S. BARRIE STREET  
VANCOUVER, BRITISH COLUMBIA  
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FAX: (604) 682-4878  
WWW: WWW.AVRP.CA

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PLAN - MAIN LEVEL  
 1/8" = 1'-0"



**AVRP**  
**ARCHITECTURE**  
**INC.**  
 5105 Sackville Street  
 Vancouver British Columbia  
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 Tel: (604) 682-4179  
 Fax: (604) 682-4178  
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PROJECT NO. 100-114B

SHEET NO. 100-114B-01

## DEVELOPMENT AGREEMENT AMENDMENT



**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
**5599 Fenwick Street  
Halifax, Nova Scotia**

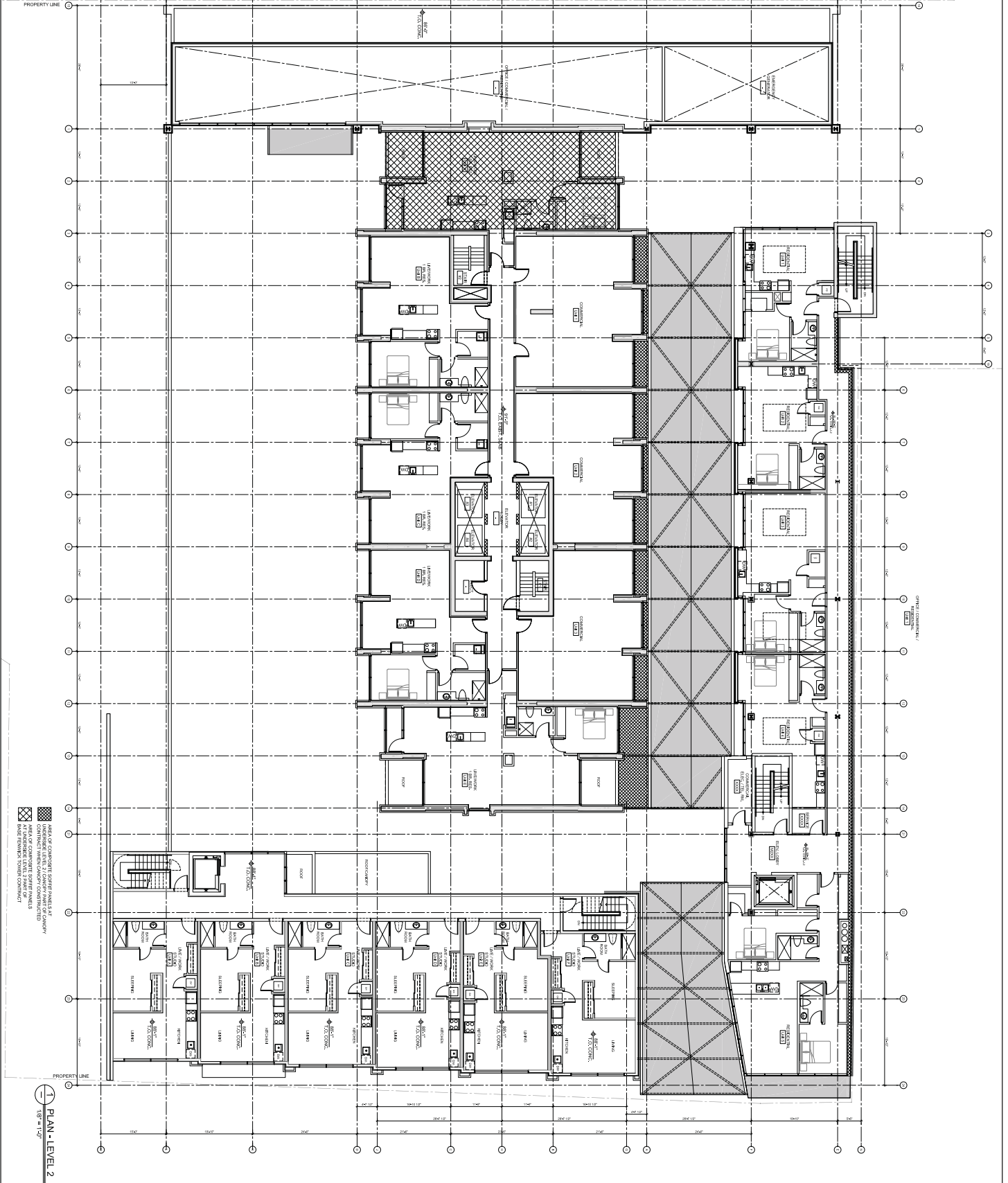
DATE	DESCRIPTION

PLAN  
 MAIN LEVEL  
 PROJECT SITE

A114b

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PROPERTY LINE



**PLAN - LEVEL 2**  
 1/8" = 1'-0"

**PLAN LEVEL 2**



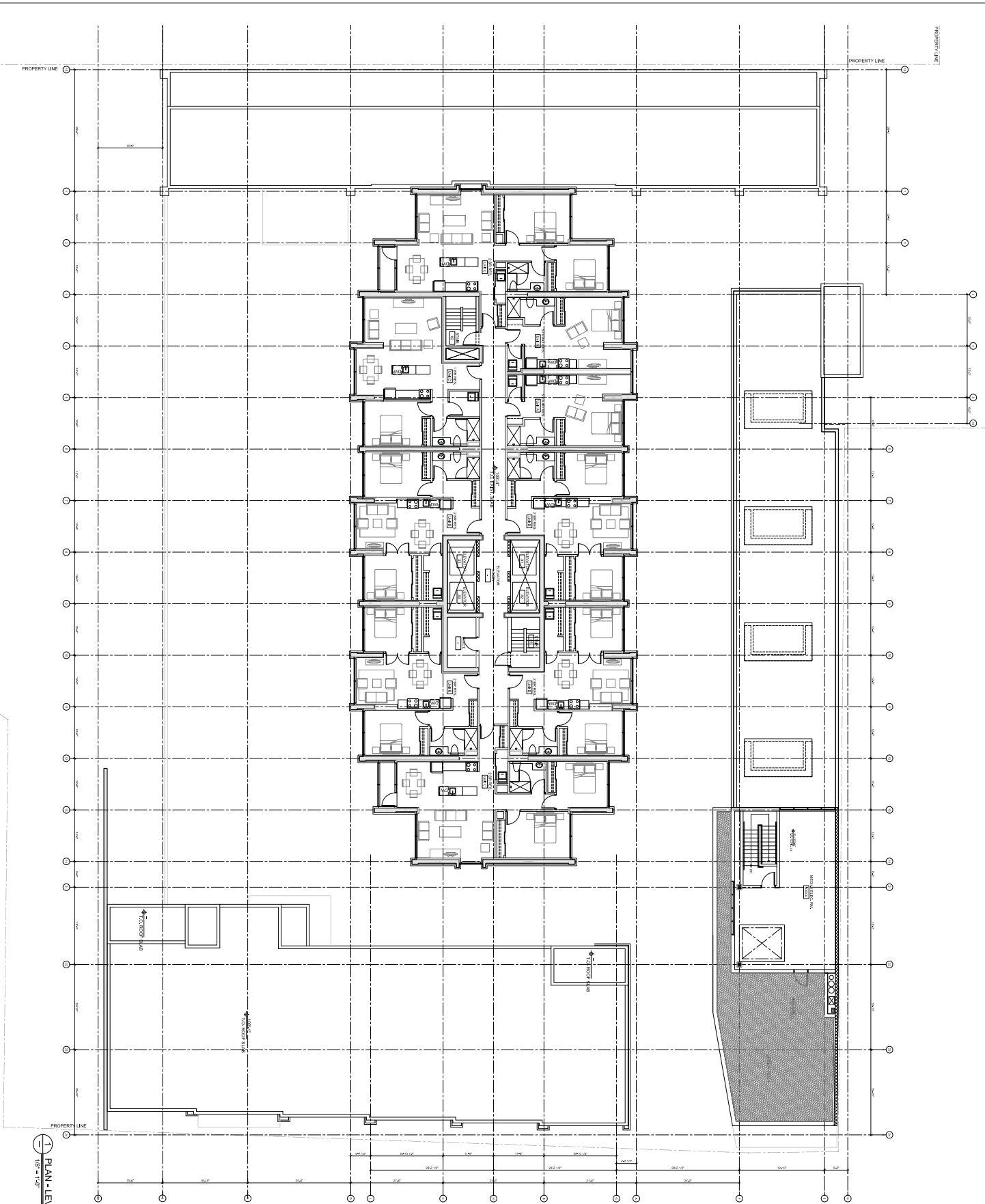
**Fenwick Tower**  
**Redevelopment**  
*for Templeton Properties*  
 5599 Fenwick Street  
 Halifax, Nova Scotia

NO.	DESCRIPTION	DATE
1	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
2	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
3	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
4	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
5	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
6	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
7	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
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17	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
18	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
19	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20
20	PRELIMINARY DEVELOPMENT PERMIT	2014.10.20

DATE: 2014.10.20  
 DRAWN BY: J. BROWN  
 CHECKED BY: M. SMITH  
 SCALE: 1/8" = 1'-0"







PLAN - LEVEL 4  
1/8" = 1'-0"

PLAN  
LEVEL 4



## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia

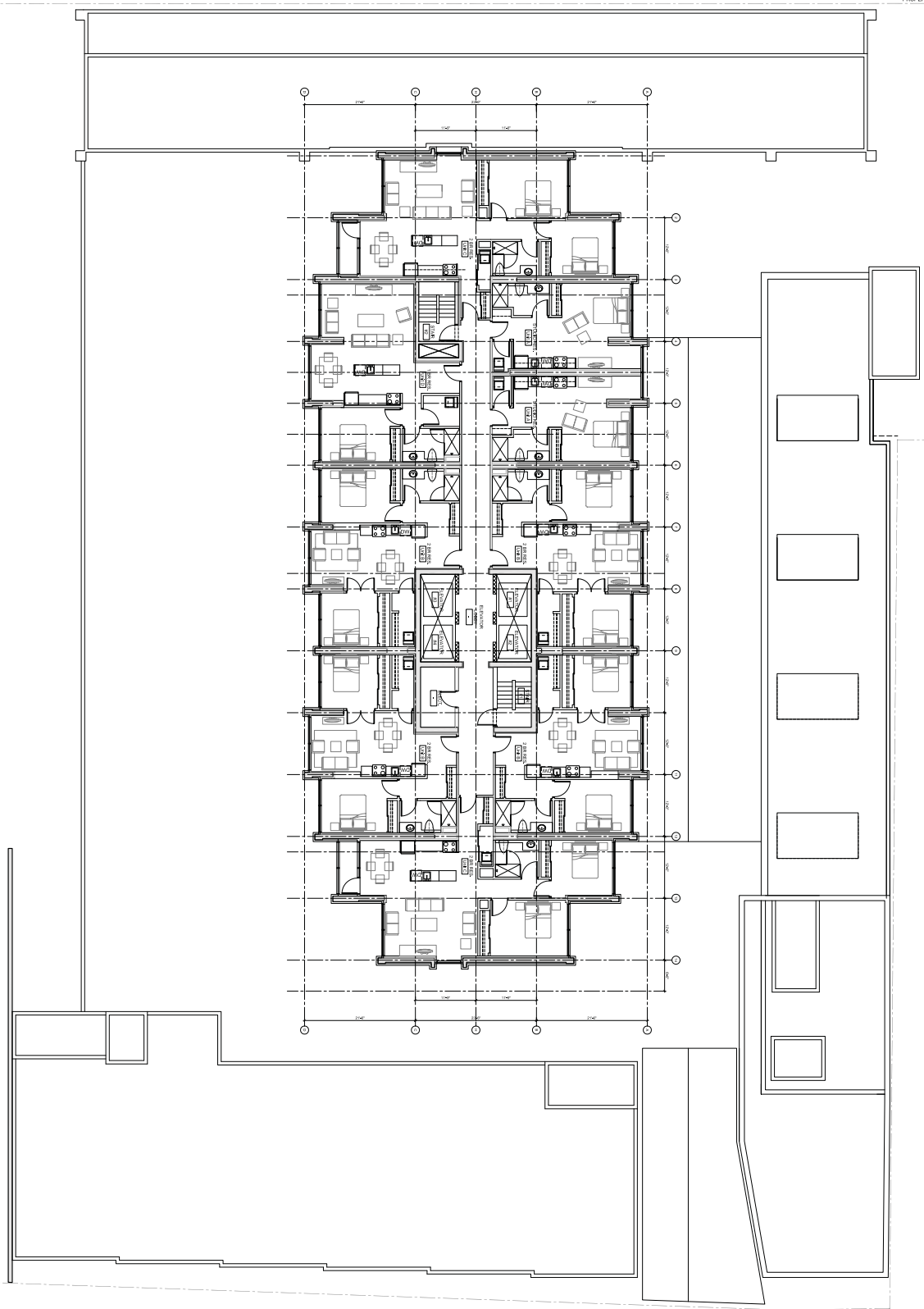
**AVRP  
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INC.**  
5101 Bessing Street  
Vancouver, British Columbia  
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Web: www.avrp.ca

SHEET A117

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



PROPERTY LINE  
 1/8" = 1'-0"  
 TYPICAL FLOOR PLAN - LEVELS 5-30

**AVRP ARCHITECTURE INC.**  
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## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
 Redevelopment**  
 for Templeton Properties  
 5599 Fenwick Street  
 Halifax, Nova Scotia

TYPICAL FLOOR PLAN  
 LEVELS 5 - 12, 14 - 30

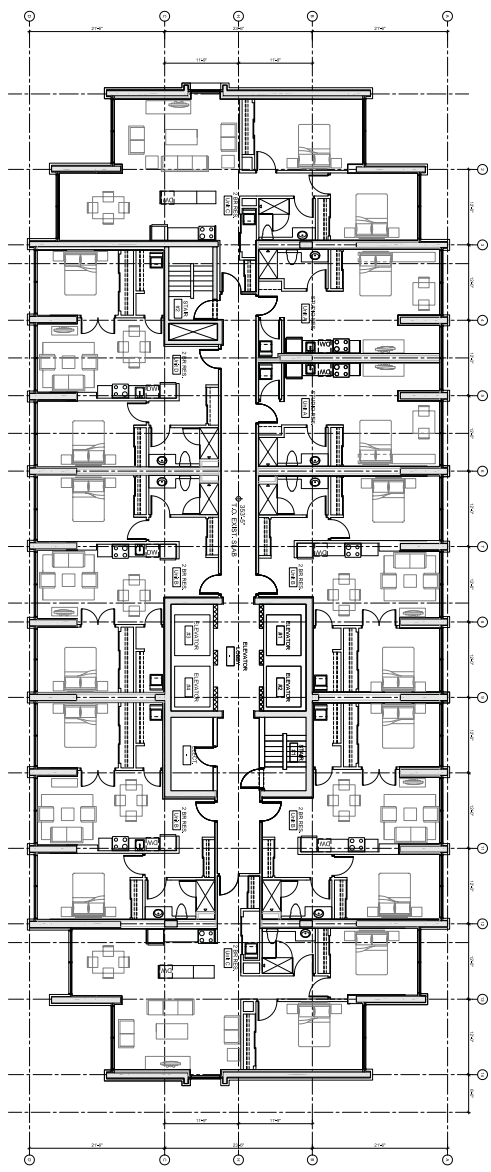
A118



PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



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1 PLAN - LEVEL 32  
1/16" = 1'-0"

**AVRP ARCHITECTURE INC.**  
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 Canada V6B 3C1  
 Tel: (604) 682-4879  
 Fax: (604) 682-4878  
 Web: www.avrp.ca



## DEVELOPMENT AGREEMENT AMENDMENT

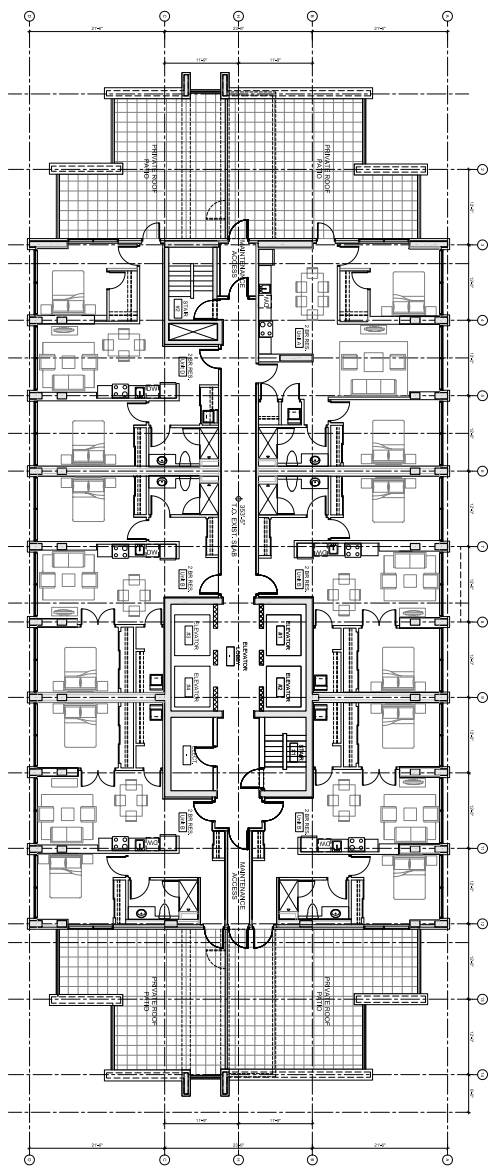
**Fenwick Tower  
Redevelopment**  
 for Templeton Properties  
 5599 Fenwick Street  
 Halifax, Nova Scotia

NO.	DATE	DESCRIPTION
1	2018-05-10	ISSUE FOR PERMIT APPLICATION
2	2018-05-10	ISSUE FOR PERMIT APPLICATION
3	2018-05-10	ISSUE FOR PERMIT APPLICATION
4	2018-05-10	ISSUE FOR PERMIT APPLICATION
5	2018-05-10	ISSUE FOR PERMIT APPLICATION
6	2018-05-10	ISSUE FOR PERMIT APPLICATION
7	2018-05-10	ISSUE FOR PERMIT APPLICATION
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18	2018-05-10	ISSUE FOR PERMIT APPLICATION
19	2018-05-10	ISSUE FOR PERMIT APPLICATION
20	2018-05-10	ISSUE FOR PERMIT APPLICATION

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



1/8" = 1'-0"

1 PLAN - LEVEL 33  
1/8" = 1'-0"

PLAN  
LEVEL 33  
PENTHOUSE



## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia



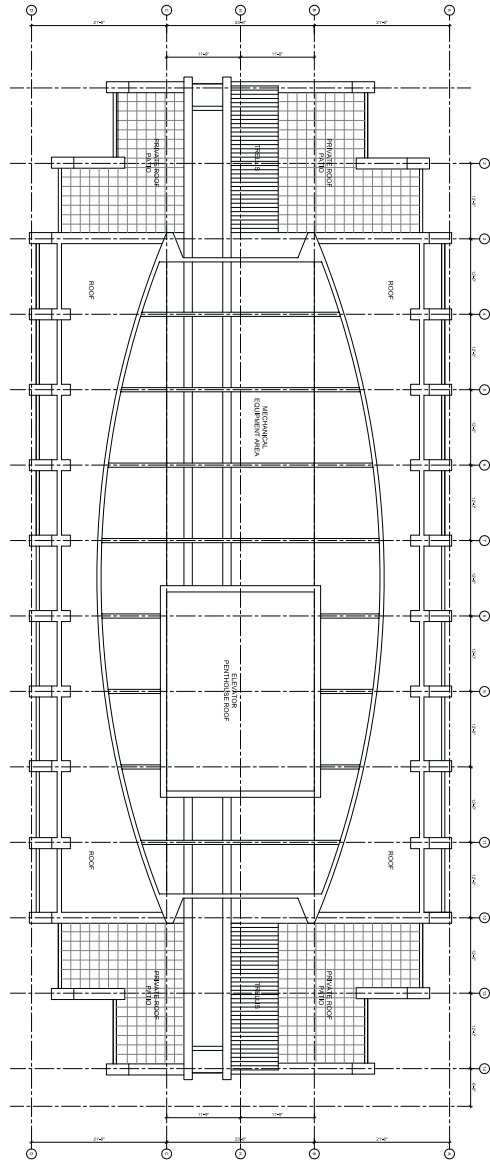
This is a development agreement for the Fenwick Tower Redevelopment project. It is a legal document that outlines the terms and conditions for the development of the property. It is intended to be used as a guide for the development of the property and is not intended to be a contract. It is subject to the terms and conditions of the development agreement and the relevant laws and regulations. It is intended to be used as a guide for the development of the property and is not intended to be a contract. It is subject to the terms and conditions of the development agreement and the relevant laws and regulations.

PROPERTY LINE

PROPERTY LINE

1/8" = 1'-0"

A121




**PLAN - LEVEL 34**  
 1/8" = 1'-0"

**PLAN**  
**LEVEL 34**  
**ROOF**

A122

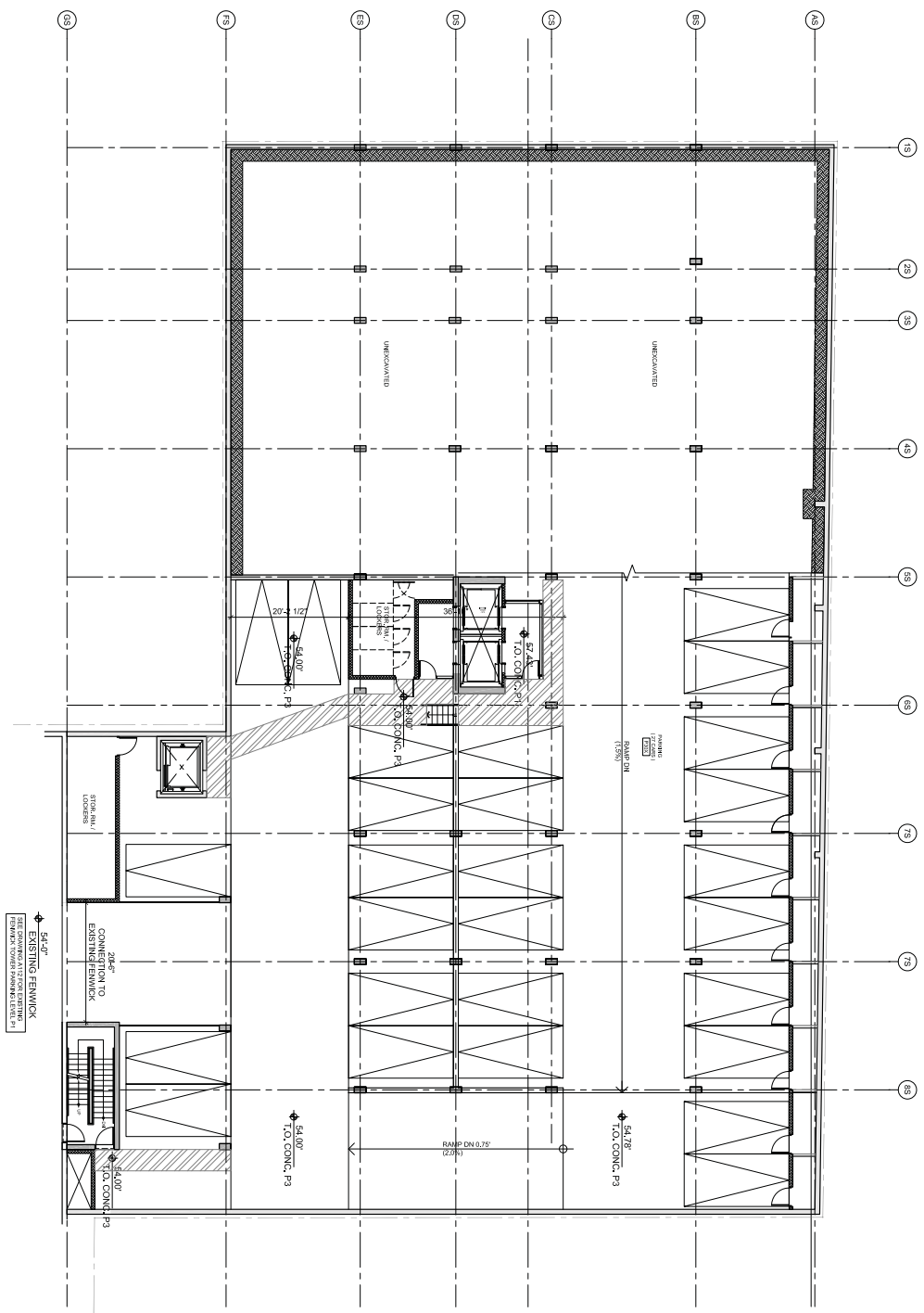
**DEVELOPMENT AGREEMENT**  
**AMENDMENT**

**Fenwick Tower**  
**Redevelopment**  
*for Templeton Properties*  
**5599 Fenwick Street**  
**Halifax, Nova Scotia**



DATE	DESCRIPTION

SHEET  
 A122



1 SOUTH TOWER LEVEL P3 PARKING PLAN  
 1/8" = 1'-0"

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## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
 Redevelopment**  
*for Templeton Properties*  
 5595 Fenwick Street  
 Halifax, Nova Scotia



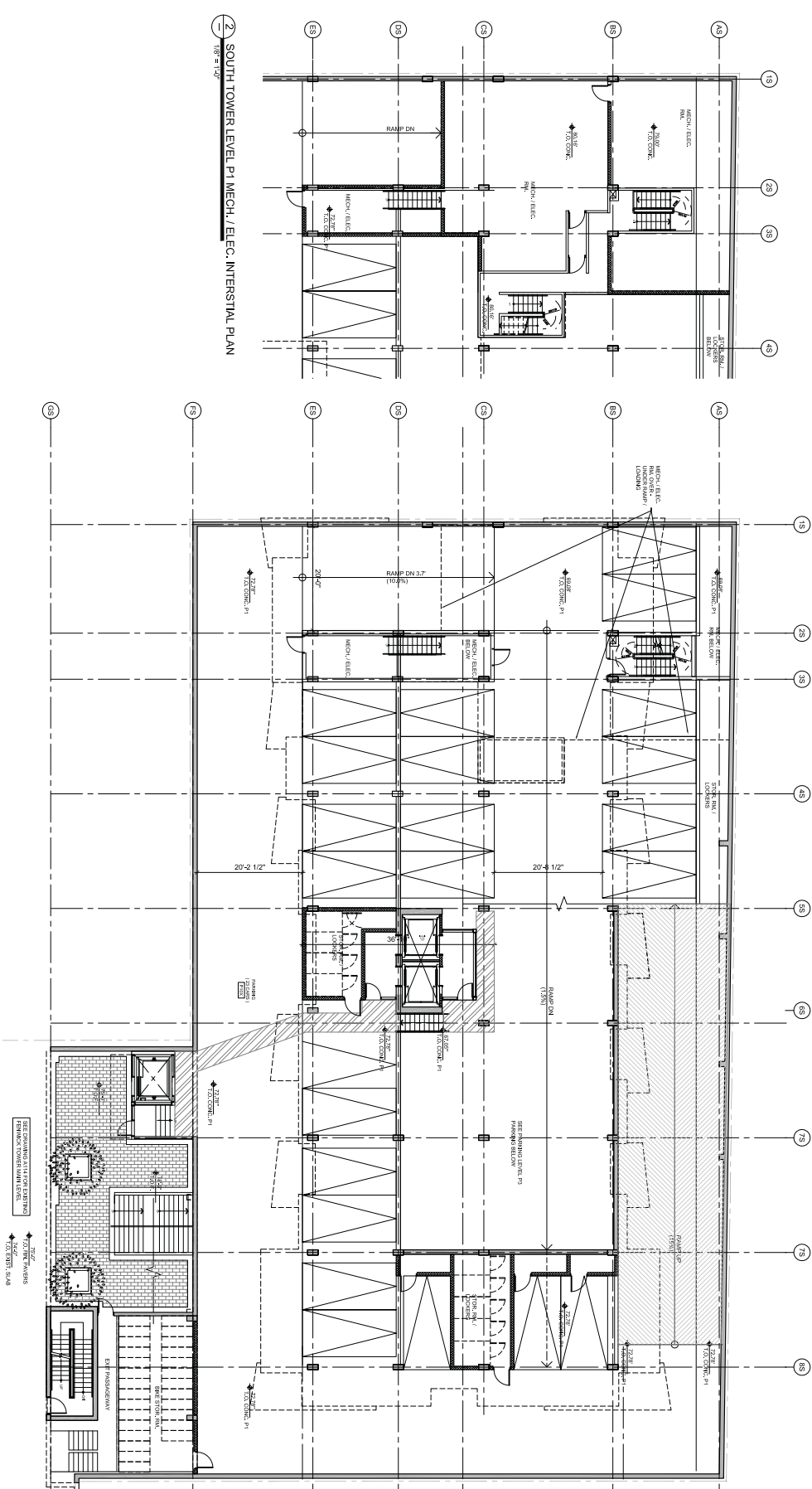
SOUTH TOWER  
 LEVEL P3 PARKING PLAN

A140





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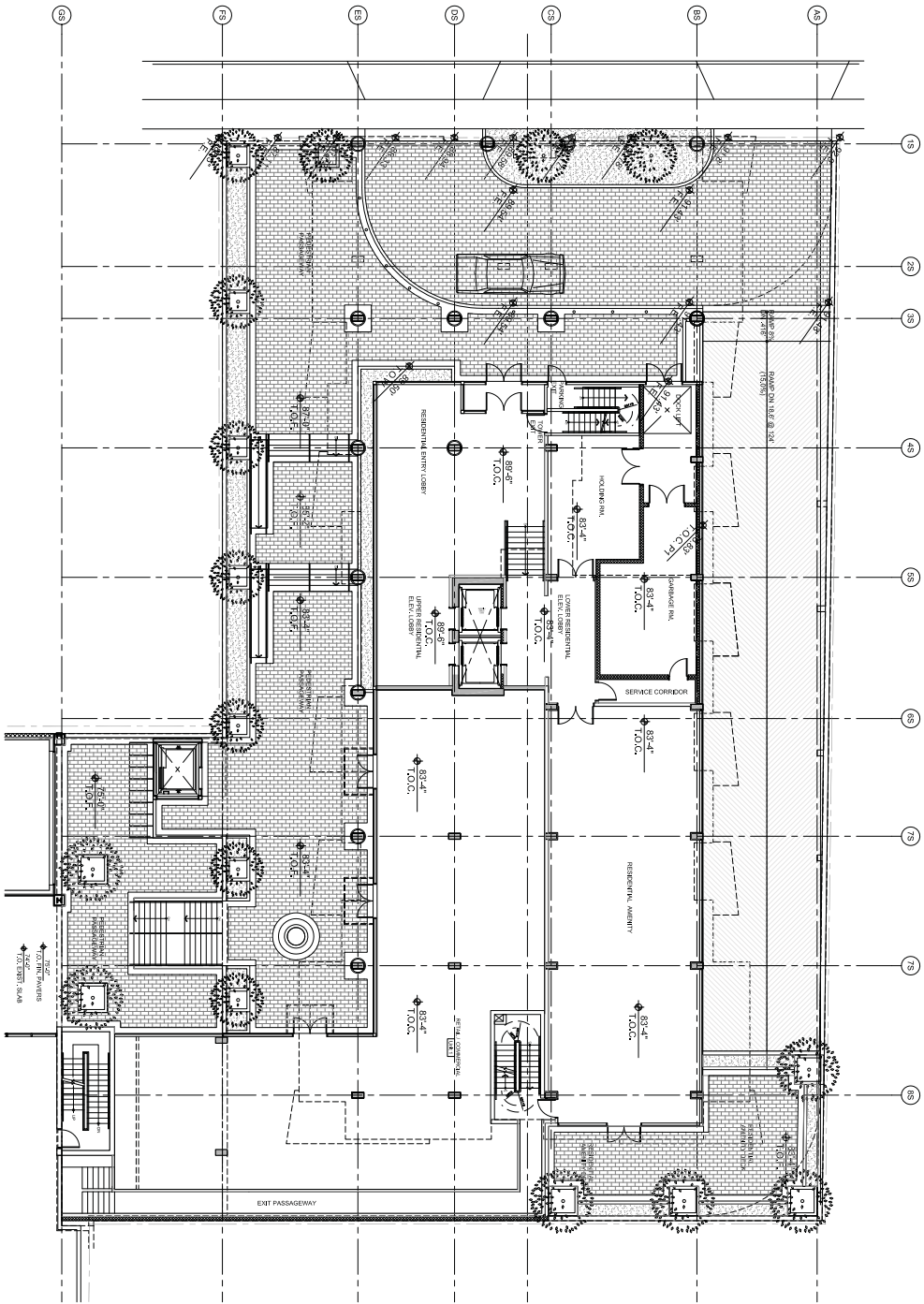


**1 SOUTH TOWER LEVEL P1 PARKING PLAN**  
 1/8\"/>



**DEVELOPMENT AGREEMENT AMENDMENT**

**Fenwick Tower Redevelopment**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia



1 SOUTH TOWER LEVEL 1 MAIN FLOOR PLAN  
1/8" = 1'-0"



AVRP  
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510a Robson Street  
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Canada V6B 5C7  
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Fax: (604) 682-4878  
Web: www.avrp.ca

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PROJECT NAME: SOUTH TOWER LEVEL 1 MAIN FLOOR PLAN

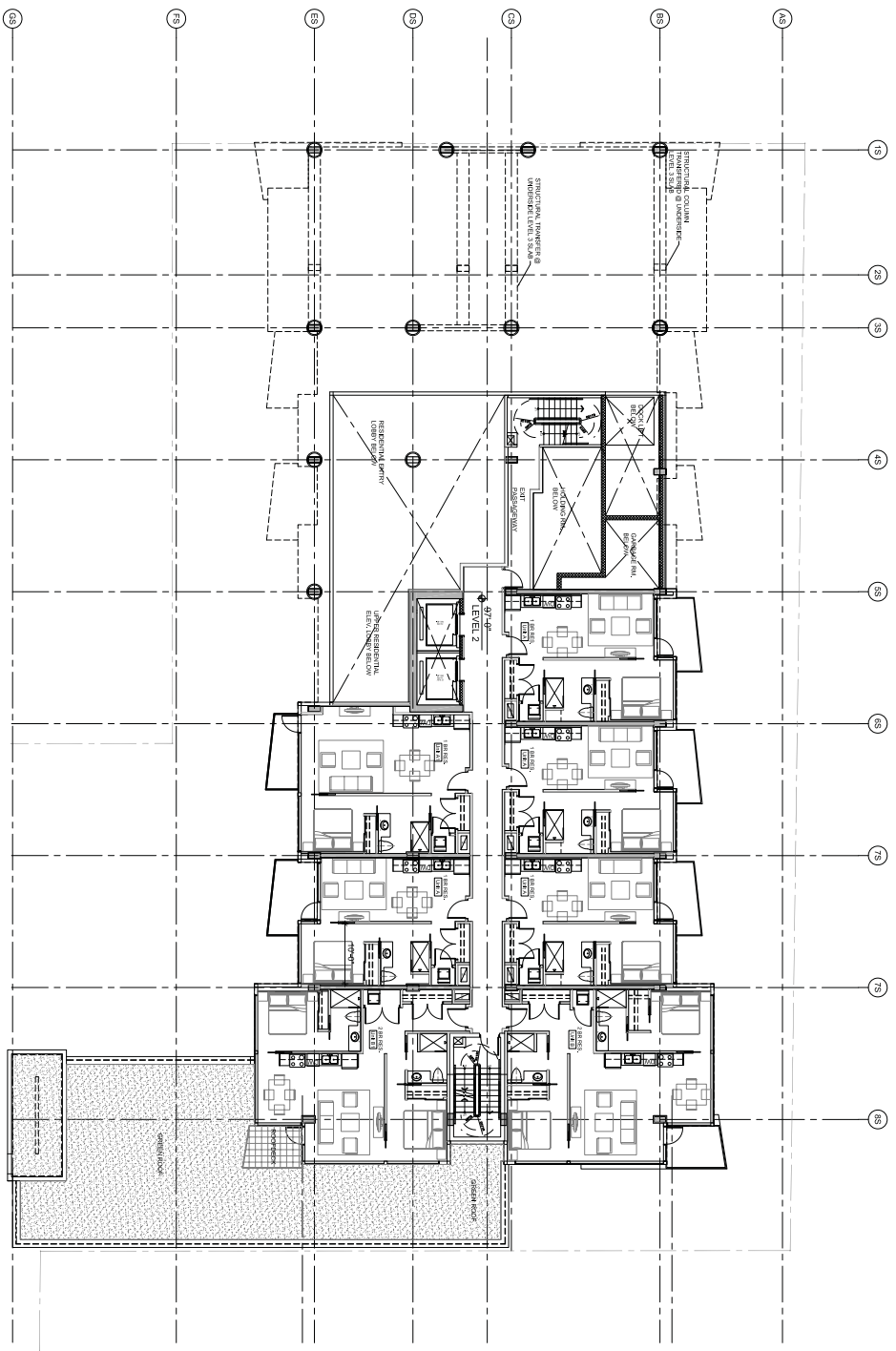
DATE: 2011-11-15

## DEVELOPMENT AGREEMENT AMENDMENT



**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia

DATE	2011-11-15
PROJECT NAME	SOUTH TOWER LEVEL 1 MAIN FLOOR PLAN
OWNER	TEMPLETON PROPERTIES
ARCHITECT	AVRP ARCHITECTURE INC.
SCALE	1/8" = 1'-0"
PROJECT NO.	A143



1 SOUTH TOWER LEVEL 2 FLOOR PLAN  
1/8" = 1'-0"



AVRP ARCHITECTURE INC.  
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PROFITABILITY: 50%

DATE: 10/10/2010 10:00:00 AM

## DEVELOPMENT AGREEMENT AMENDMENT

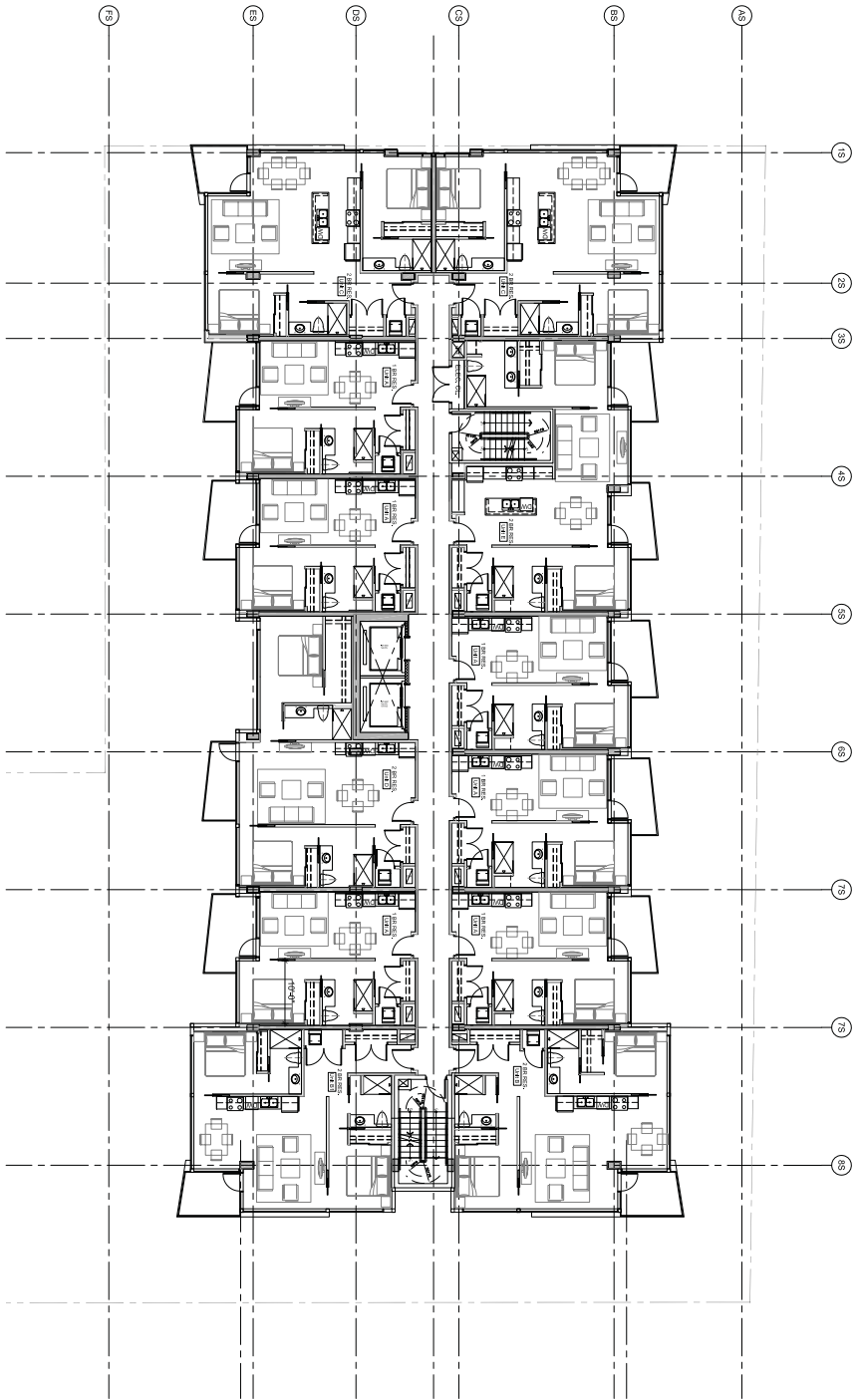
**Fenwick Tower Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
2	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
3	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
4	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
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7	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
8	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
9	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP
10	ISSUED FOR PERMIT APPLICATION	10/10/2010	AVRP

SOUTH TOWER LEVEL 2 FLOOR PLAN

A144



1 SOUTH TOWER LEVELS 3 - 8 FLOOR PLAN  
 1/8" = 1'-0"



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 Web: www.avrp.ca

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PROJECT NAME: FENWICK TOWER

DATE: 2014.10.10	REVISION: 1
DATE: 2014.10.10	REVISION: 2
DATE: 2014.10.10	REVISION: 3
DATE: 2014.10.10	REVISION: 4
DATE: 2014.10.10	REVISION: 5
DATE: 2014.10.10	REVISION: 6
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DATE: 2014.10.10	REVISION: 8
DATE: 2014.10.10	REVISION: 9
DATE: 2014.10.10	REVISION: 10

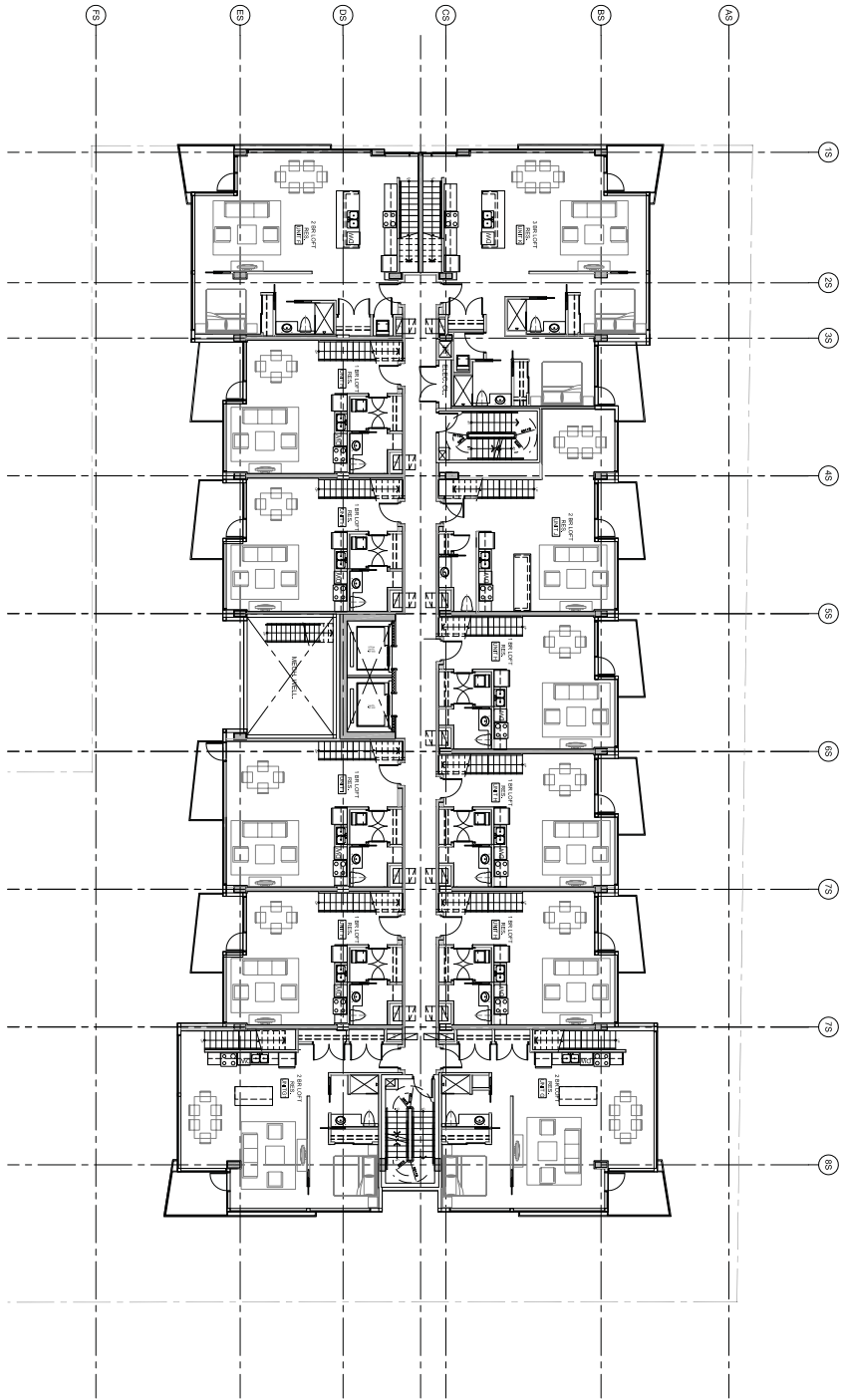
## DEVELOPMENT AGREEMENT AMENDMENT



**Fenwick Tower  
 Redevelopment**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia

DATE: 2014.10.10	REVISION: 1
DATE: 2014.10.10	REVISION: 2
DATE: 2014.10.10	REVISION: 3
DATE: 2014.10.10	REVISION: 4
DATE: 2014.10.10	REVISION: 5
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DATE: 2014.10.10	REVISION: 7
DATE: 2014.10.10	REVISION: 8
DATE: 2014.10.10	REVISION: 9
DATE: 2014.10.10	REVISION: 10

SOUTH TOWER  
 LEVELS 3 - 8 FLOOR PLAN  
 A145



1 SOUTH TOWER LEVEL 9 FLOOR PLAN  
1/8" = 1'-0"



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5104 Bishop's Street  
Victoria, British Columbia  
Canada V8B 2G1  
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PROJECT NAME: 5595 FENWICK STREET

DRAWN BY: J. SMITH

NO.	DATE	DESCRIPTION
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## DEVELOPMENT AGREEMENT AMENDMENT



**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
5595 Fenwick Street  
Halifax, Nova Scotia

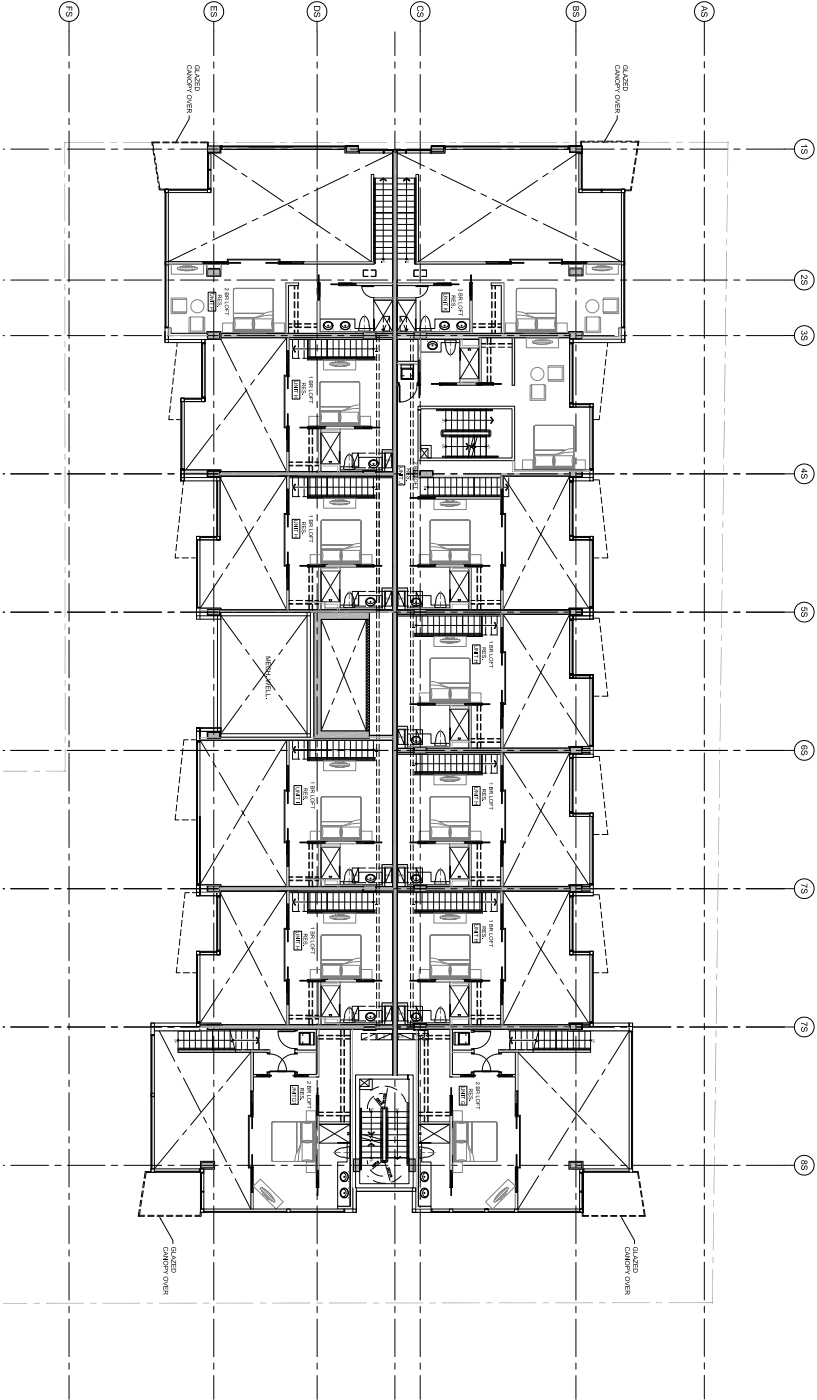
NO.	DATE	DESCRIPTION
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DATE:

SCALE:

A146

SOUTH TOWER  
LEVEL 9 FLOOR PLAN



1 SOUTH TOWER LEVEL 10 FLOOR PLAN  
1/8" = 1'-0"



AVRP ARCHITECTURE INC.  
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PROFESSIONAL SEAL

DATE: 10/15/2010 10:00:00 AM

## DEVELOPMENT AGREEMENT AMENDMENT

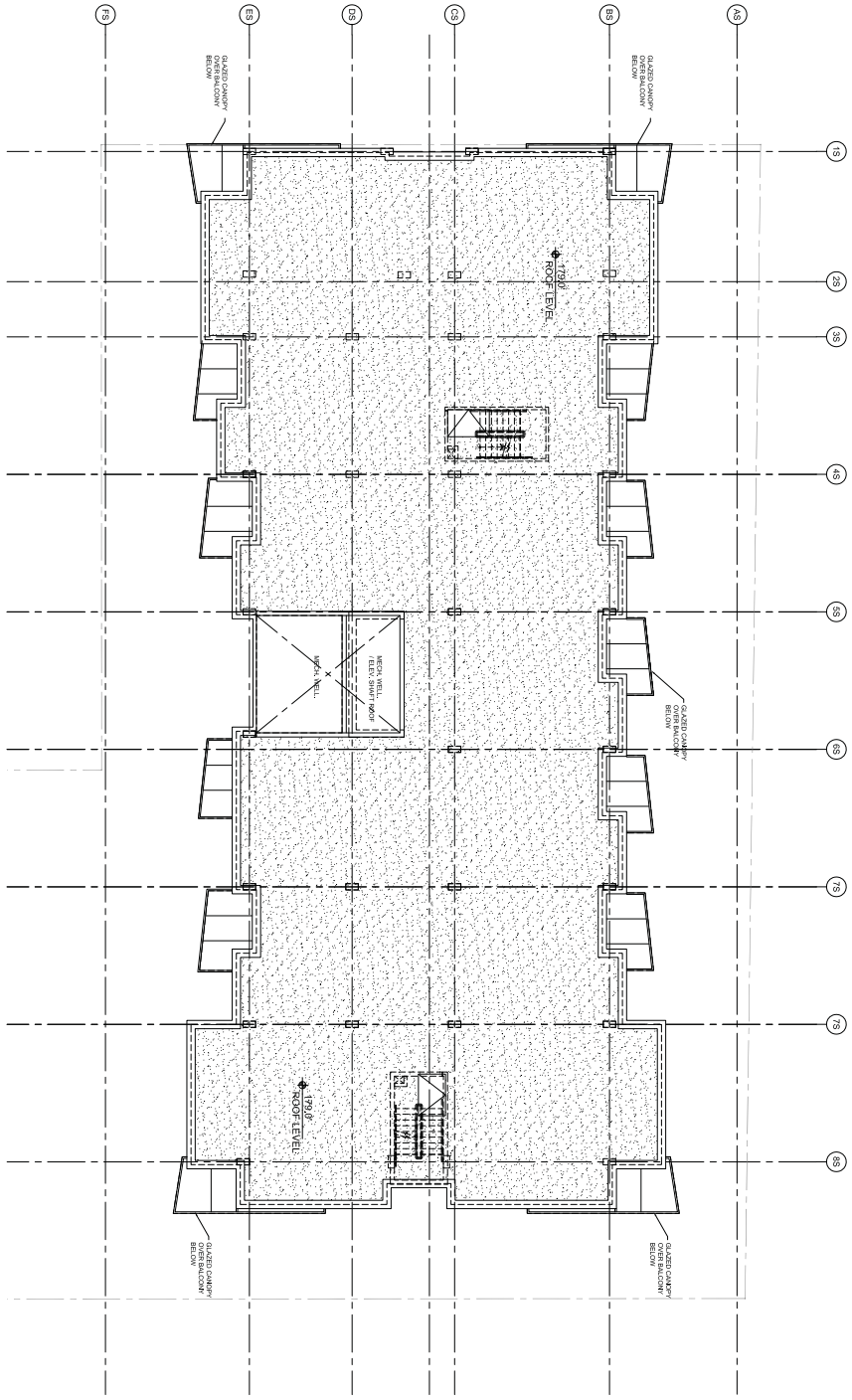


**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia

NO.	DATE	DESCRIPTION
1	10/15/2010	ISSUED FOR PERMIT
2	10/15/2010	ISSUED FOR PERMIT
3	10/15/2010	ISSUED FOR PERMIT
4	10/15/2010	ISSUED FOR PERMIT
5	10/15/2010	ISSUED FOR PERMIT
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7	10/15/2010	ISSUED FOR PERMIT
8	10/15/2010	ISSUED FOR PERMIT
9	10/15/2010	ISSUED FOR PERMIT
10	10/15/2010	ISSUED FOR PERMIT

SOUTH TOWER  
LEVEL 10 FLOOR PLAN

A147



1 SOUTH TOWER LEVEL 11 MAIN ROOF PLAN  
1/8" = 1'-0"



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ARCHITECTURE  
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Vancouver, British Columbia  
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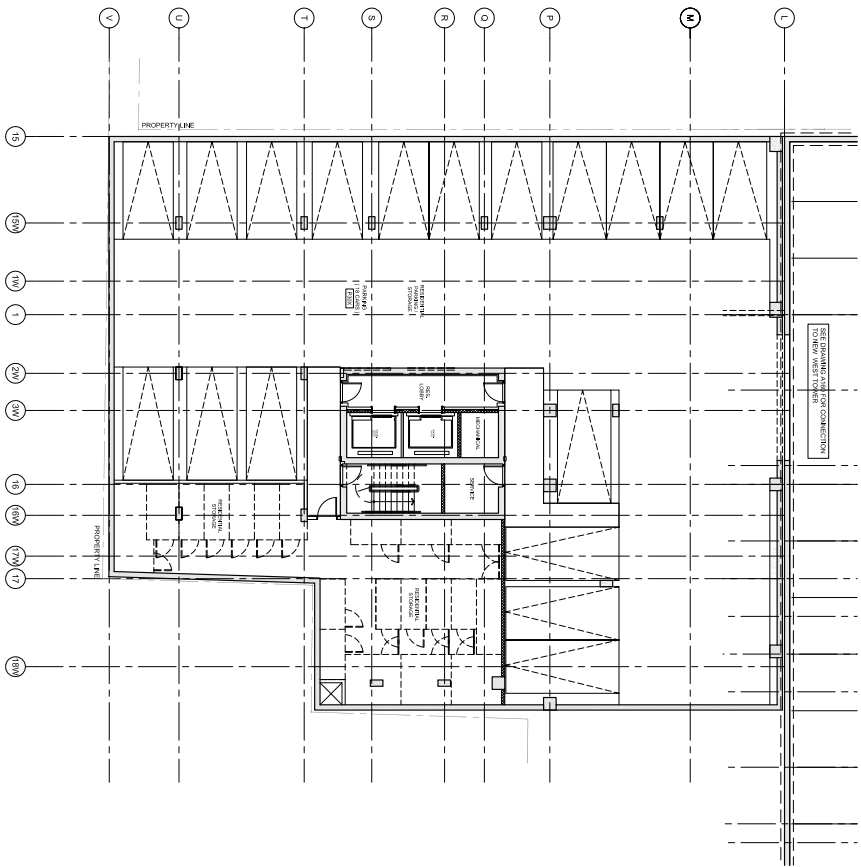
**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
5595 Fenwick Street  
Halifax, Nova Scotia

NO.	REVISION	DATE	BY	CHECKED	SCALE

SOUTH TOWER  
LEVEL 11 MAIN ROOF PLAN

A148





1 WEST TOWER PARKING LEVEL P3  
1/8" = 1'-0"



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5101 Richards Street  
Victoria, British Columbia  
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Phone (250) 382-4379  
Fax (250) 382-4378  
Web: www.avrp.ca

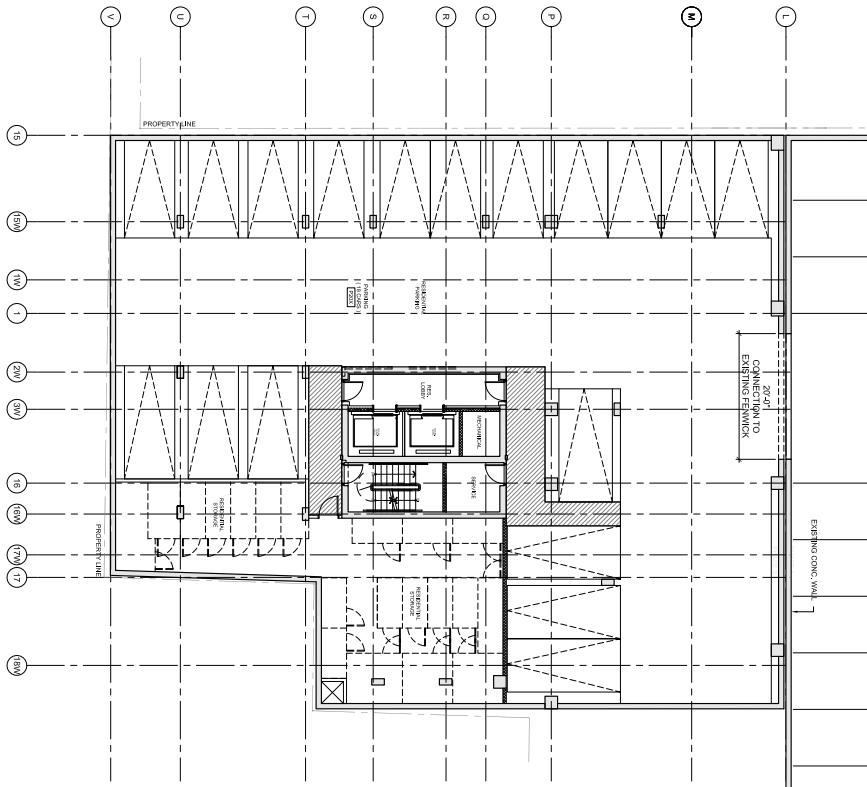
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PROJECT NO. 1000000000




**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia


WEST TOWER  
PARKING LEVEL P3  
A160



1 WEST TOWER PARKING LEVEL P2  
1/8" = 1'-0"



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PROJECT NO.

DATE OF ISSUE



## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
5595 Fenwick Street  
Halifax, Nova Scotia

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT APPLICATION		
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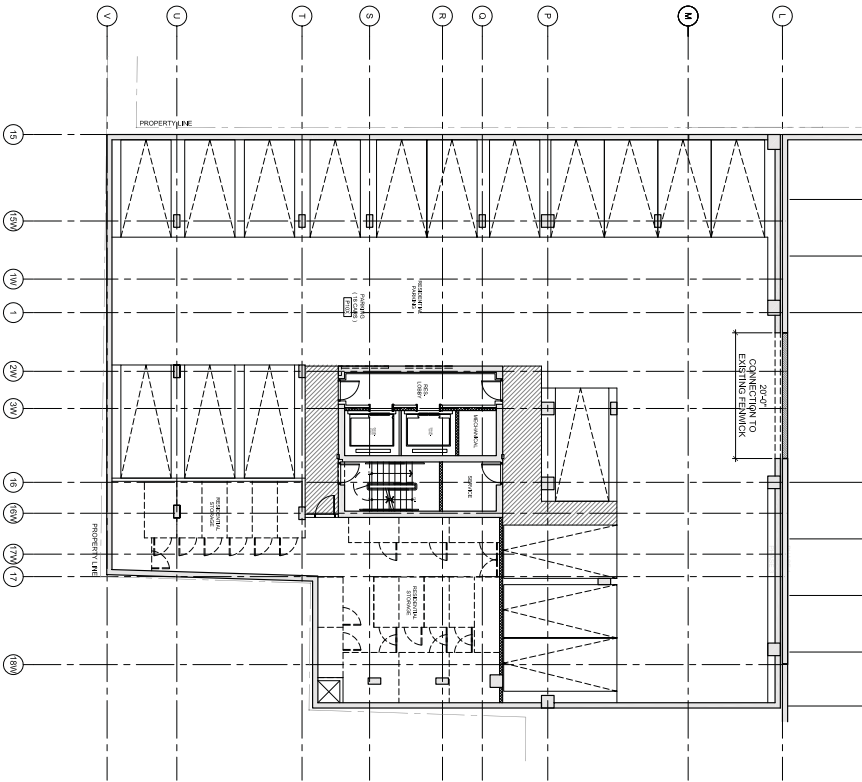
WEST TOWER  
PARKING LEVEL P2

A161

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PROJECTIONS: S.A.

SCALE: 1/8" = 1'-0"



1 WEST TOWER PARKING LEVEL P1  
 1/8" = 1'-0"

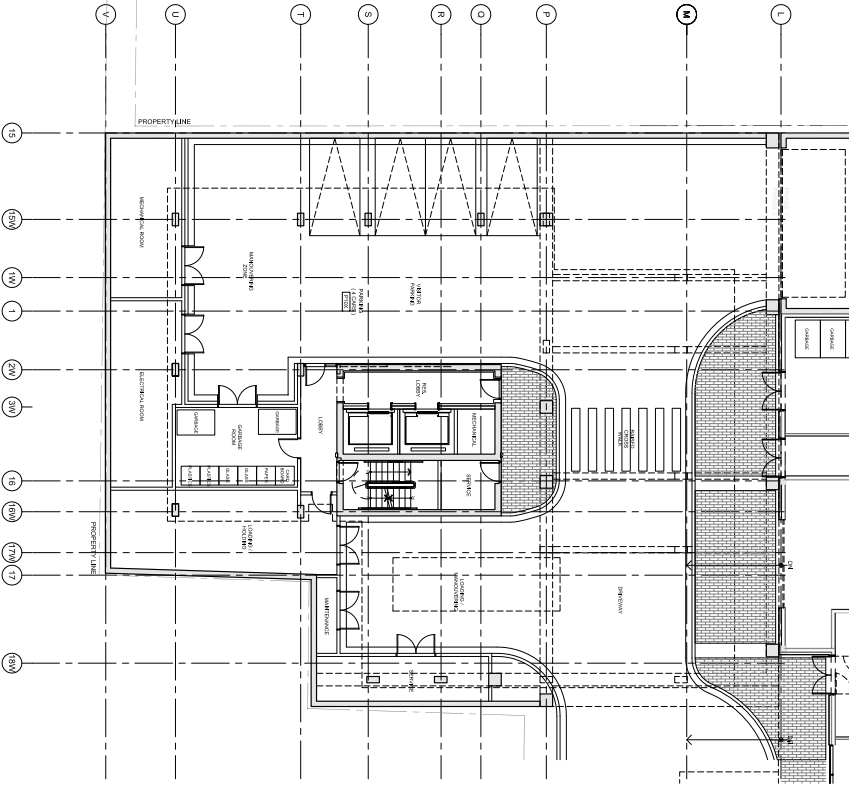
**DEVELOPMENT AGREEMENT**  
**AMENDMENT**



**Fenwick Tower**  
**Redevelopment**  
*for Templeton Properties*  
**5595 Fenwick Street**  
**Halifax, Nova Scotia**

DATE	12/15/11	REVISION	ISSUE FOR PERMITTING
DATE	08/20/12	REVISION	ISSUE FOR PERMITTING
DATE	08/20/12	REVISION	ISSUE FOR PERMITTING
DATE	08/20/12	REVISION	ISSUE FOR PERMITTING
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DATE	08/20/12	REVISION	ISSUE FOR PERMITTING
DATE	08/20/12	REVISION	ISSUE FOR PERMITTING

WEST TOWER  
 PARKING LEVEL P1  
 A162



1 WEST TOWER LOWER LEVEL  
 1/8" = 1'-0"



AVRP ARCHITECTURE INC.  
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 Web: www.avrp.ca

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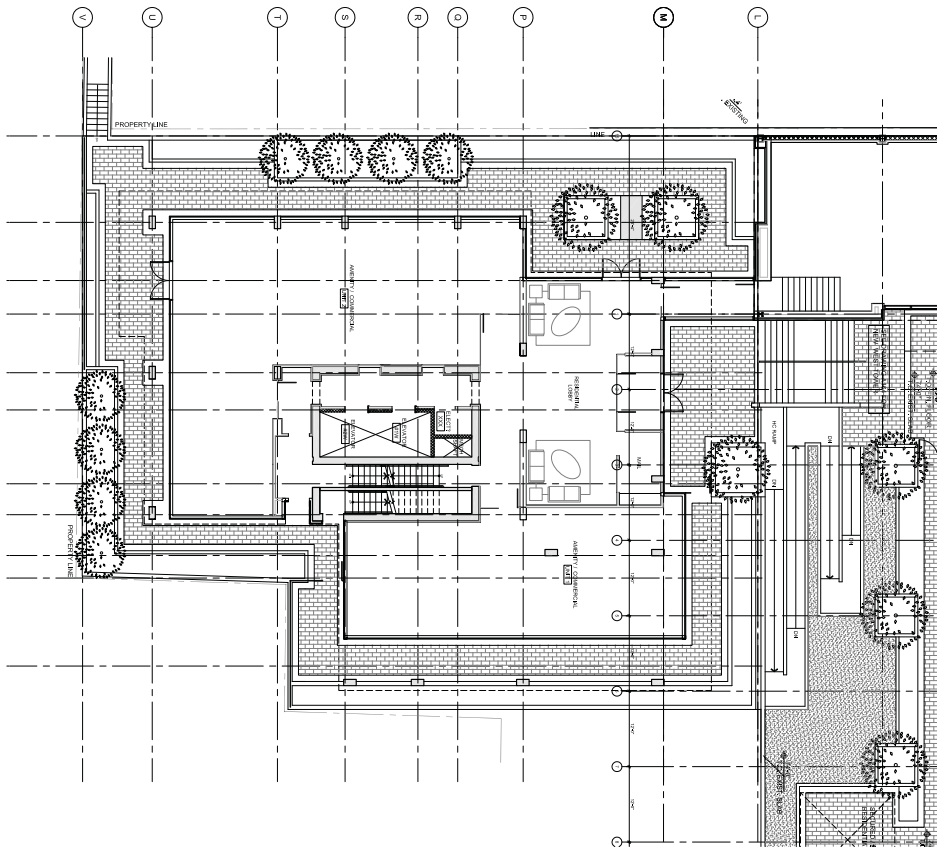
## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower Redevelopment**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia



NO.	DATE	DESCRIPTION
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2	2013.05.20	ISSUE FOR PERMITTING AND CONSTRUCTION
3	2013.05.20	ISSUE FOR PERMITTING AND CONSTRUCTION
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99	2013.05.20	ISSUE FOR PERMITTING AND CONSTRUCTION
100	2013.05.20	ISSUE FOR PERMITTING AND CONSTRUCTION

WEST TOWER LOWER LEVEL  
 A163



1 WEST TOWER MAIN LEVEL  
1/8" = 1'-0"



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PROJECT NO. 164

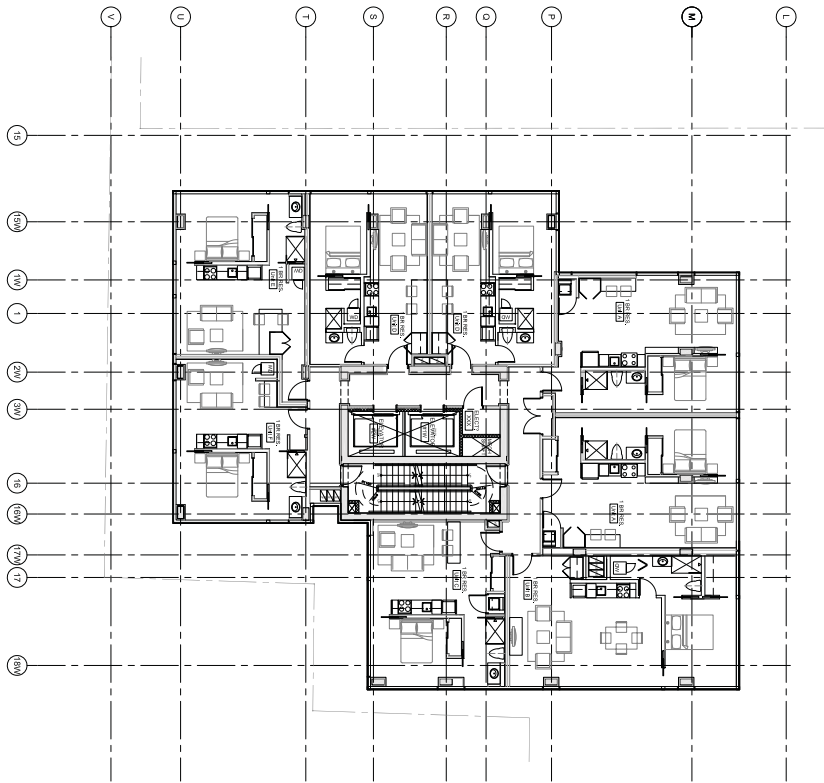
DATE: 10/10/2014



**Fenwick Tower Redevelopment**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia

NO.	DESCRIPTION	DATE
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2	WEST TOWER MAIN LEVEL	10/10/2014
3	WEST TOWER MAIN LEVEL	10/10/2014
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19	WEST TOWER MAIN LEVEL	10/10/2014
20	WEST TOWER MAIN LEVEL	10/10/2014

SHEET: A164



1 WEST TOWER LEVELS 2-8 FLOOR PLAN  
1/8" = 1'-0"



**AVRP ARCHITECTURE INC.**  
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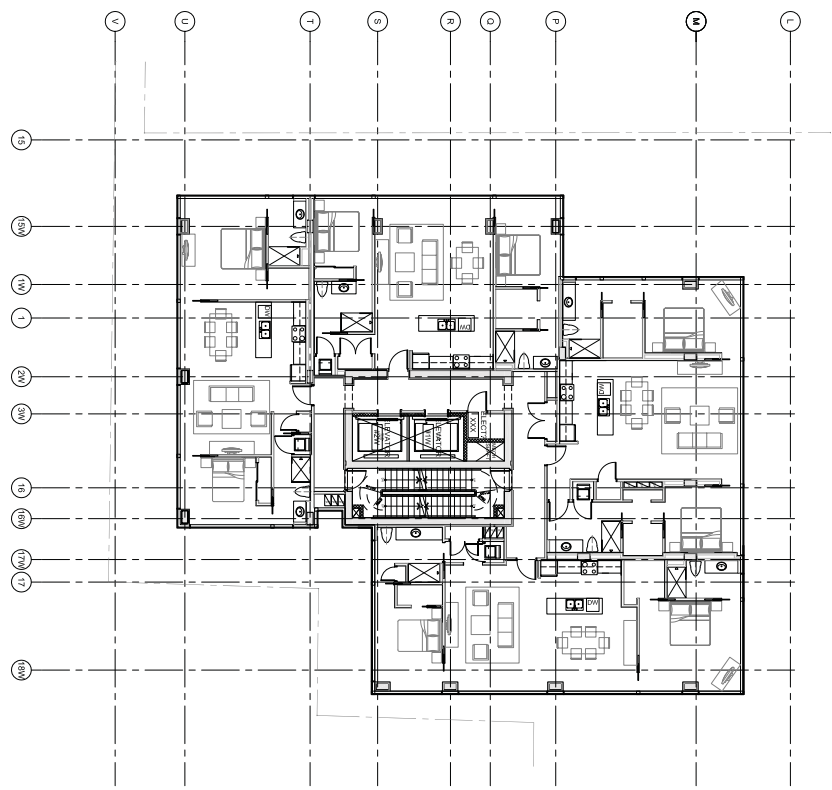
DATE: 2014-03-10 10:00 AM



**Fenwick Tower Redevelopment**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia

NO.	DESCRIPTION	DATE	BY
1	ISSUE FOR PERMIT APPLICATION	2014-03-10	AVRP
2	ISSUE FOR CONSTRUCTION		
3	ISSUE FOR OCCUPANCY		
4	ISSUE FOR AS-BUILT		
5	ISSUE FOR FINAL		

WEST TOWER LEVELS 2-7 FLOOR PLAN  
 A165



1 WEST TOWER LEVELS 2-8 FLOOR PLAN  
1/8" = 1'-0"



**AVRP**  
**ARCHITECTURE**  
**INC.**  
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Vancouver, British Columbia  
Canada V6B 3C1  
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Web: www.avrp.ca

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PROFITABILITY SK.

REVISIONS

NO.	DESCRIPTION	DATE

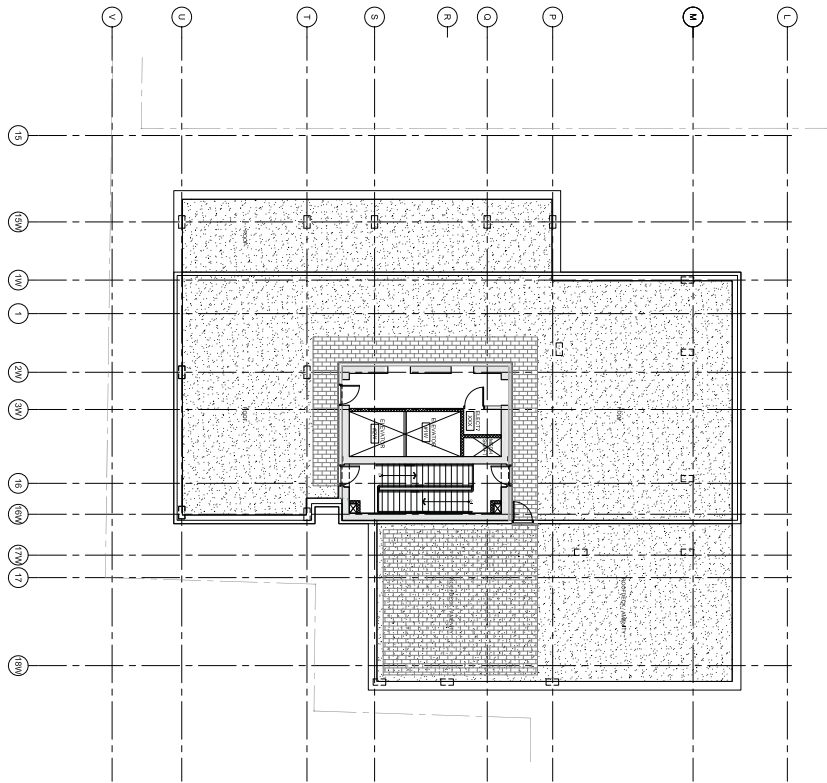


**Fenwick Tower**  
**Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia

NO.	DESCRIPTION	DATE

WEST TOWER  
LEVEL 8 FLOOR PLAN

DATE: A166



1 WEST TOWER LEVEL 11 - MAIN ROOF  
1/8" = 1'-0"



**AVRP ARCHITECTURE INC.**  
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Canada V6B 5C1  
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Web: www.avrp.ca

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PROFESSIONAL SEAL

DATE OF DESIGN: 09/28/2014



**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia

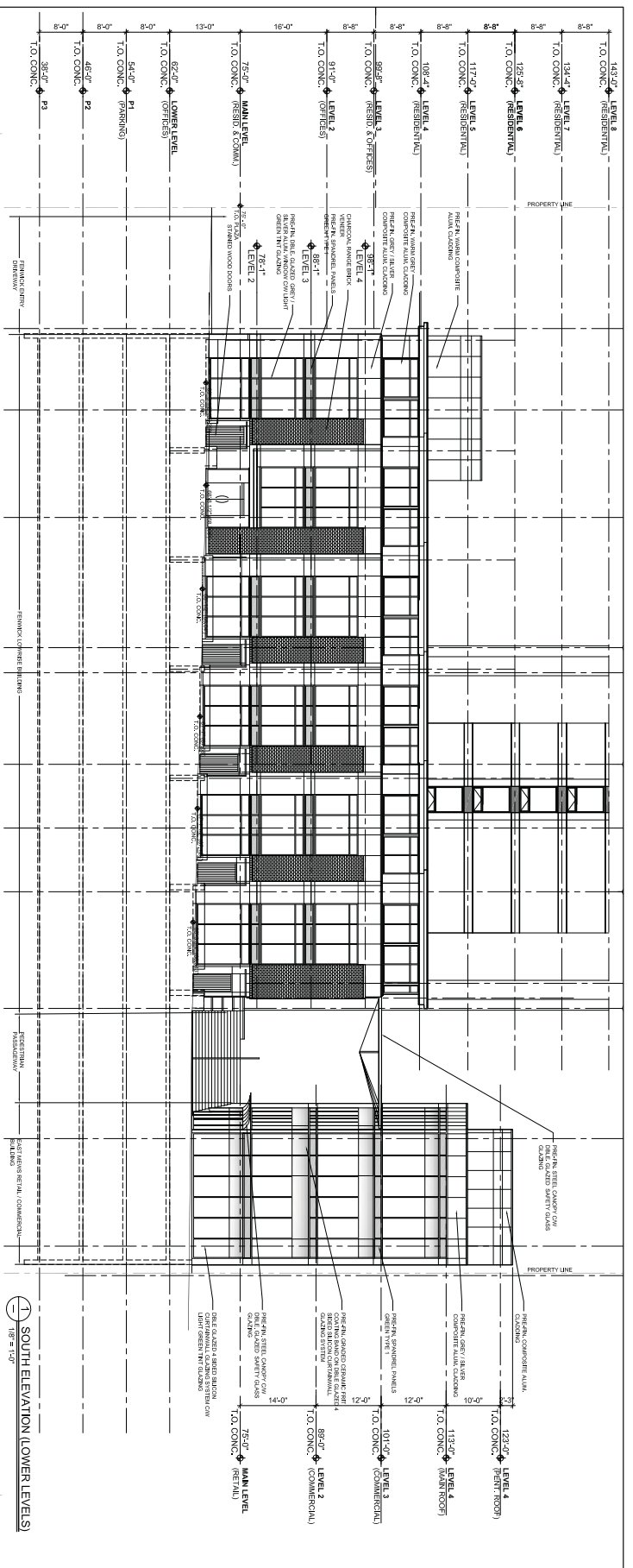
NO.	REVISION	DATE	BY	CHECKED	APPROVED

WEST TOWER  
LEVEL 11 MAIN ROOF

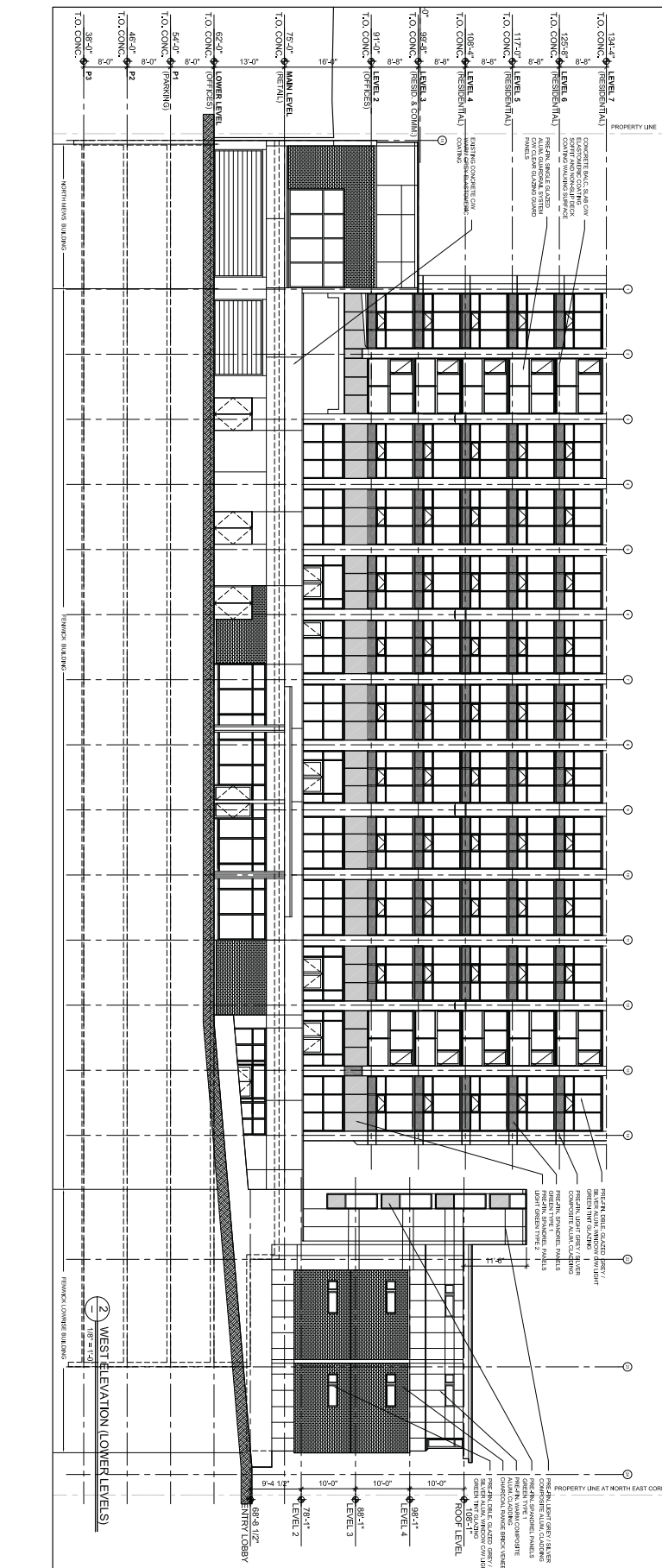
A 167







LEVEL	HEIGHT	DESCRIPTION
LEVEL 1	122'-0"	LEVEL 1 (PENITENTIARY)
LEVEL 2	113'-0"	LEVEL 2 (COMMERCIAL)
LEVEL 3	104'-0"	LEVEL 3 (COMMERCIAL)
LEVEL 4	95'-0"	LEVEL 4 (COMMERCIAL)
LEVEL 5	86'-0"	LEVEL 5 (RESIDENTIAL)
LEVEL 6	77'-0"	LEVEL 6 (RESIDENTIAL)
LEVEL 7	68'-0"	LEVEL 7 (RESIDENTIAL)



LEVEL	HEIGHT	DESCRIPTION
LEVEL 1	122'-0"	LEVEL 1 (PENITENTIARY)
LEVEL 2	113'-0"	LEVEL 2 (COMMERCIAL)
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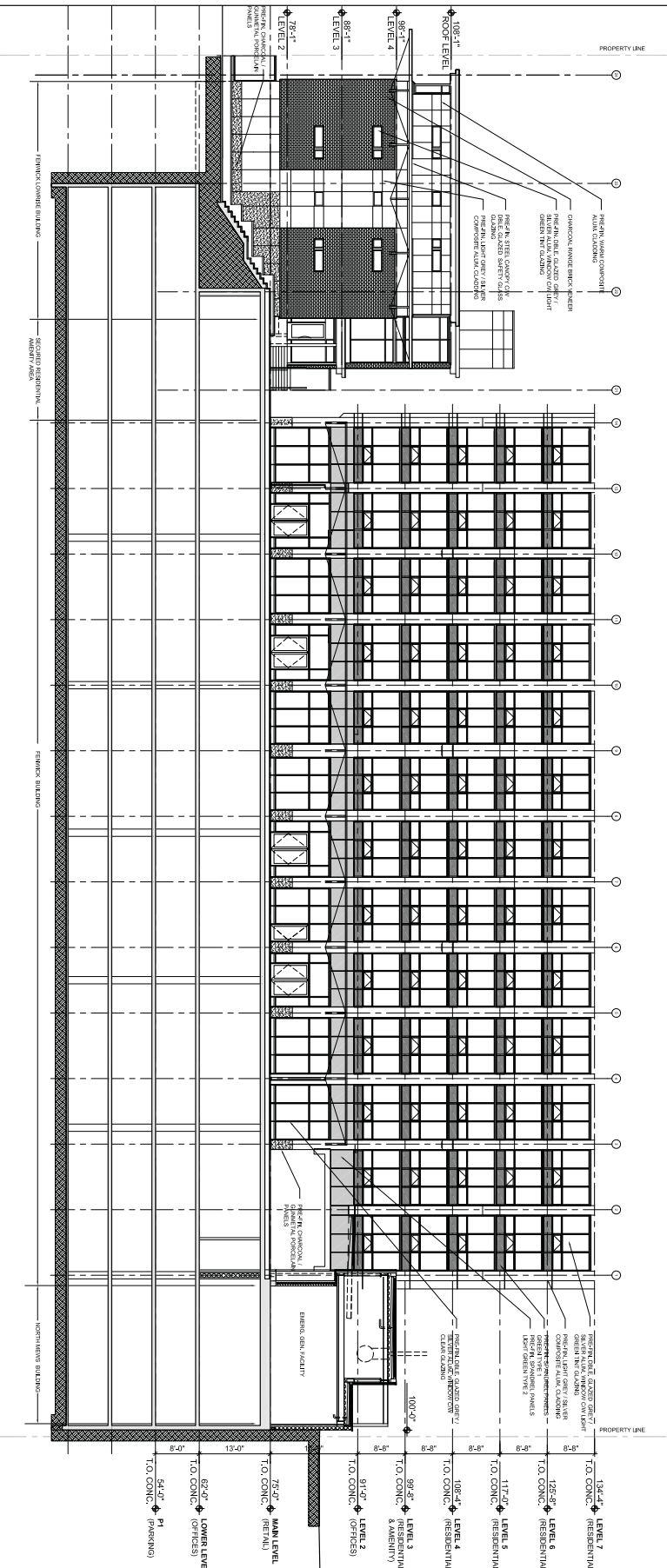
# DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5599 Fenwick Street  
Halifax, Nova Scotia

  
**ARPP**  
**ARCHITECTURE**  
**INC.**  
 510a Bishop Street  
 Vancouver, British Columbia  
 Canada V6B 2C1  
 Tel: (604) 681-4779  
 Fax: (604) 682-4779  
 Web: www.arpp.ca

NO.	REVISION	DATE	BY	CHKD.
1	ISSUE FOR PERMIT	2018-11-13	ARPP	ARPP
2	ISSUE FOR PERMIT	2018-11-13	ARPP	ARPP
3	ISSUE FOR PERMIT	2018-11-13	ARPP	ARPP
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100	ISSUE FOR PERMIT	2018-11-13	ARPP	ARPP





1 EAST ELEVATION (LOWER LEVELS)  
1/8" = 1'-0"



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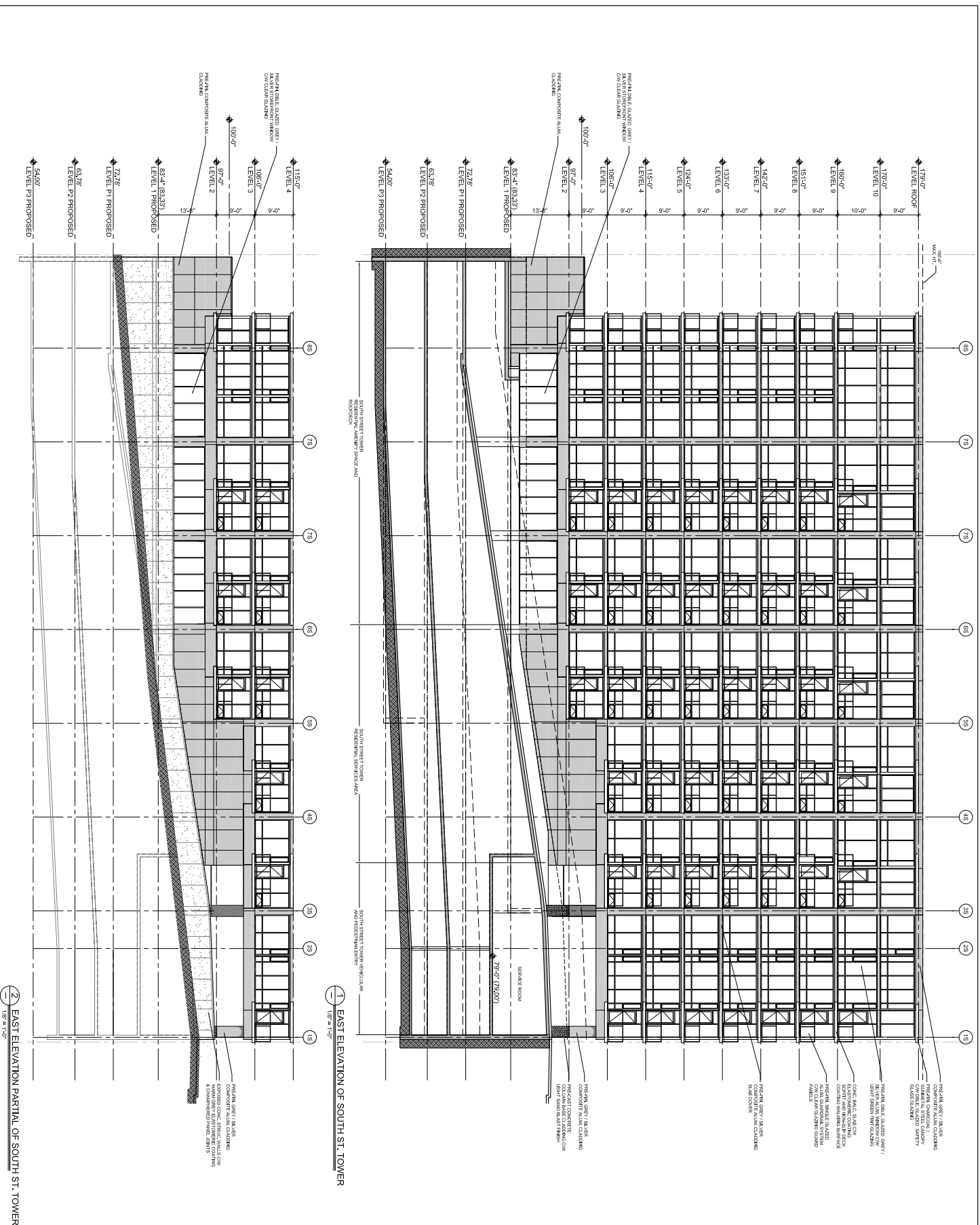
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## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
5599 Fenwick Street  
Halifax, Nova Scotia

NO.	DATE	DESCRIPTION
1	2018-01-15	ISSUED FOR PERMITTING
2	2018-01-15	ISSUED FOR PERMITTING
3	2018-01-15	ISSUED FOR PERMITTING
4	2018-01-15	ISSUED FOR PERMITTING
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NORTH AND EAST  
PARTIAL ELEVATIONS  
A203



1 EAST ELEVATION OF SOUTH ST. TOWER  
1/8" = 1'-0"

2 EAST ELEVATION PARTIAL OF SOUTH ST. TOWER  
1/8" = 1'-0"

The undersigned hereby certifies that the drawings herein were prepared by the undersigned or under the direct supervision and control of the undersigned, who is a duly Licensed Architect in the Province of British Columbia, Canada. I am a duly Licensed Architect in the Province of British Columbia, Canada.

PROJECT NO. 1400000000000000

NO.	REVISION	DATE

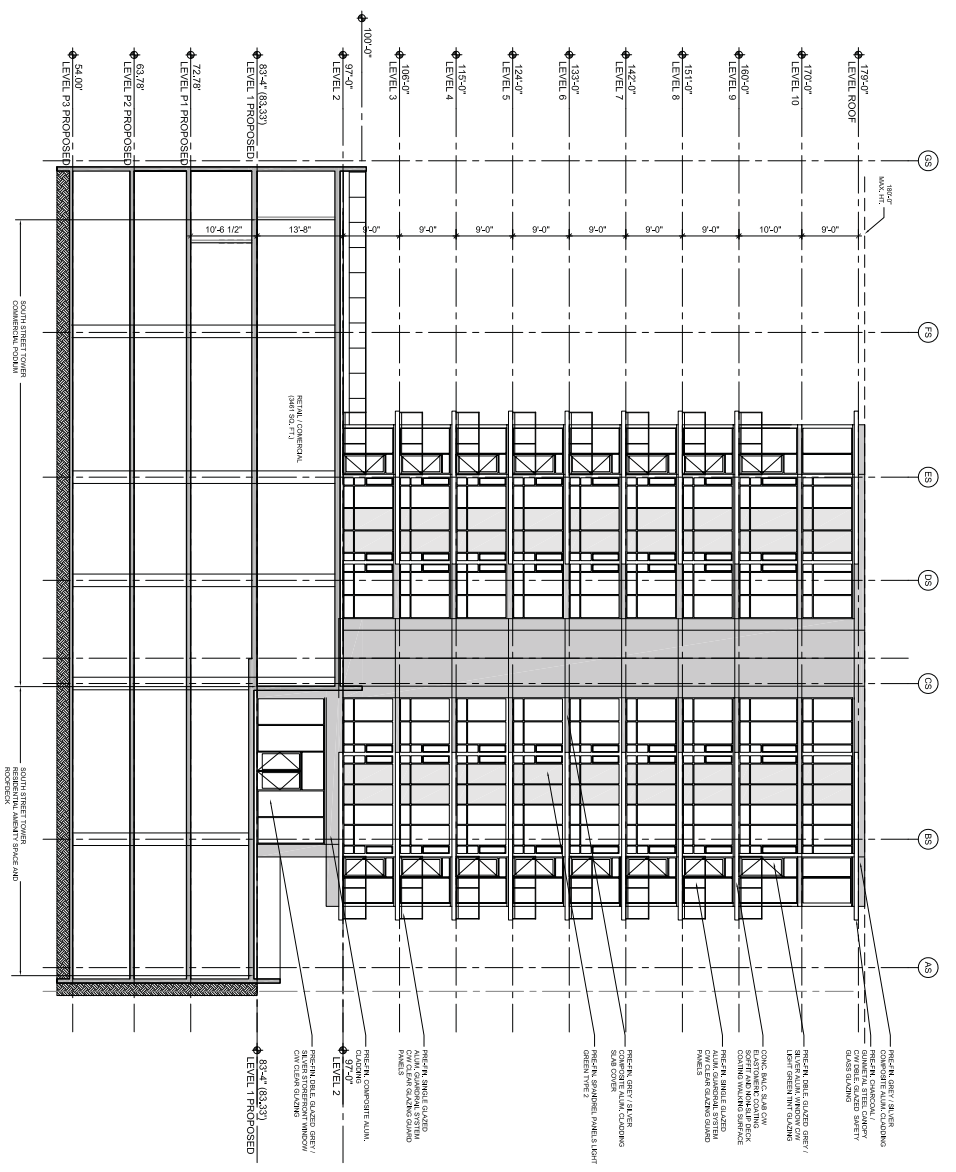


**Development Agreement**  
**ARPP ARCHITECTURE INC.**  
 for Templeton Properties  
 5595 Fenwick Street  
 Halifax, Nova Scotia

SOUTH ST. TOWER  
 EAST ELEVATION

A220





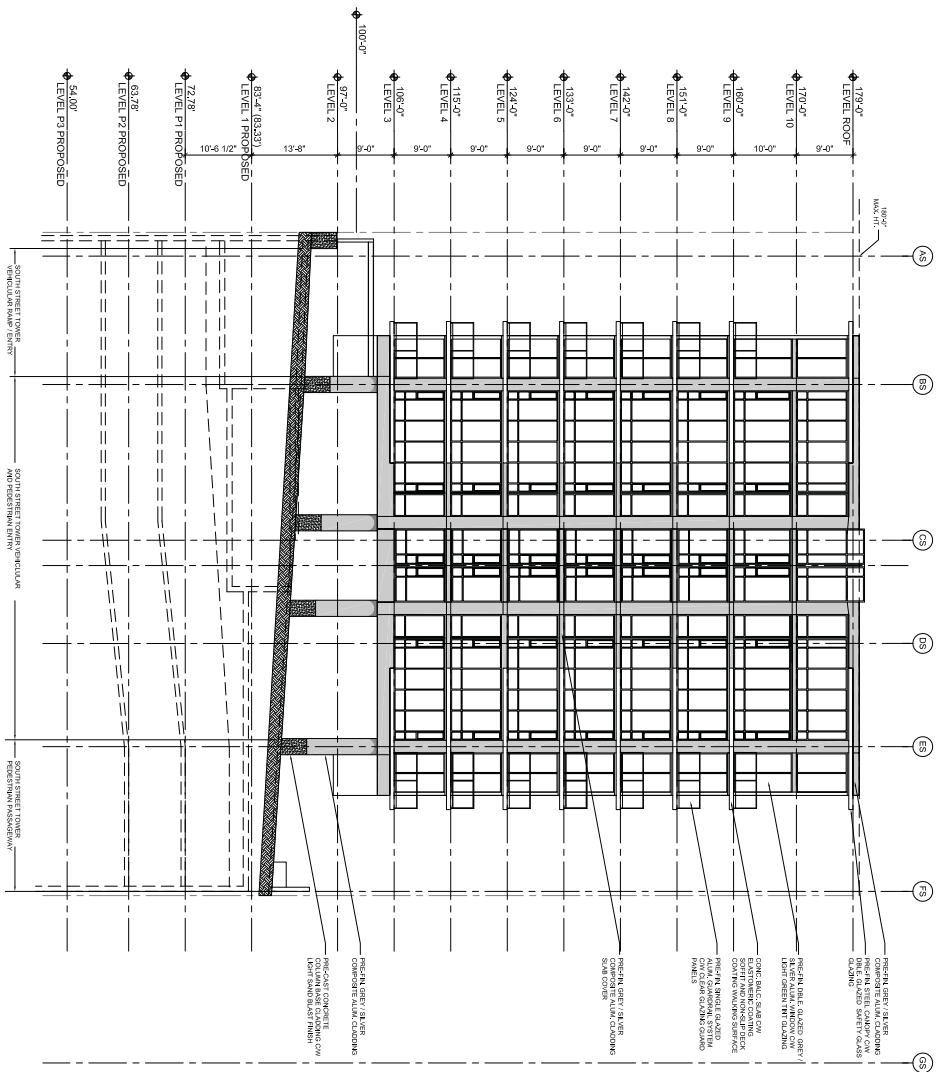
1 SOUTH ELEVATION SOUTH ST. TOWER  
1/8" = 1'-0"

**AVRP ARCHITECTURE INC.**  
 5114 Bishop Street  
 Vancouver, British Columbia  
 Canada V6B 2C1  
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 Fax: (604) 682-4878  
 Web: www.avrp.ca

## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower Redevelopment**  
*for Templeton Properties*  
 5595 Fenwick Street  
 Halifax, Nova Scotia

NO. 1	DATE	REVISION
1	2023.03.27	ISSUE FOR PERMITTING
2	2023.03.27	ISSUE FOR PERMITTING
3	2023.03.27	ISSUE FOR PERMITTING
4	2023.03.27	ISSUE FOR PERMITTING
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19	2023.03.27	ISSUE FOR PERMITTING
20	2023.03.27	ISSUE FOR PERMITTING



1 NORTH ELEVATION OF SOUTH ST. TOWER  
1/8" = 1'-0"



AVRP ARCHITECTURE INC.  
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This is a preliminary drawing and is not to be used for construction. It is subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia



NO.	DATE	DESCRIPTION
1	2023-10-10	ISSUE FOR PERMIT APPLICATION
2	2023-09-15	ISSUE FOR PRELIMINARY DESIGN
3	2023-08-01	ISSUE FOR PRELIMINARY DESIGN
4	2023-07-01	ISSUE FOR PRELIMINARY DESIGN
5	2023-06-01	ISSUE FOR PRELIMINARY DESIGN
6	2023-05-01	ISSUE FOR PRELIMINARY DESIGN
7	2023-04-01	ISSUE FOR PRELIMINARY DESIGN
8	2023-03-01	ISSUE FOR PRELIMINARY DESIGN
9	2023-02-01	ISSUE FOR PRELIMINARY DESIGN
10	2023-01-01	ISSUE FOR PRELIMINARY DESIGN

SOUTH ST. TOWER  
NORTH ELEVATION  
A223









This is a preliminary drawing and is not to be used for construction without the approval of AVP Architecture Inc. The client acknowledges that the drawings are preliminary and that the client is not to be held responsible for any errors or omissions. The drawings are the property of AVP Architecture Inc. and shall remain the property of AVP Architecture Inc. if the client terminates the contract for any reason.

PROJECTIONS: SEE PLAN

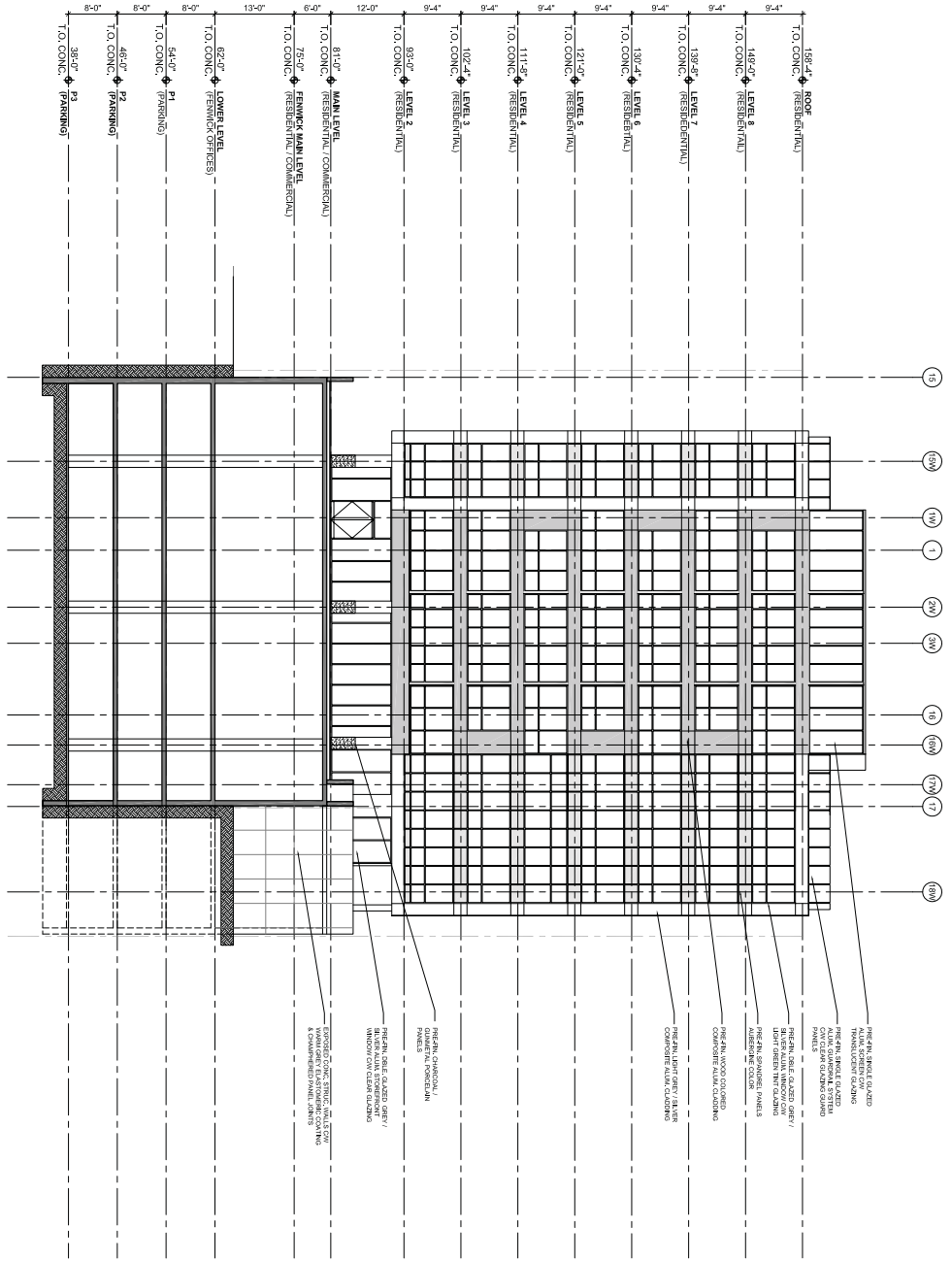
SECTION: WEST ELEVATION

### DEVELOPMENT AGREEMENT AMENDMENT

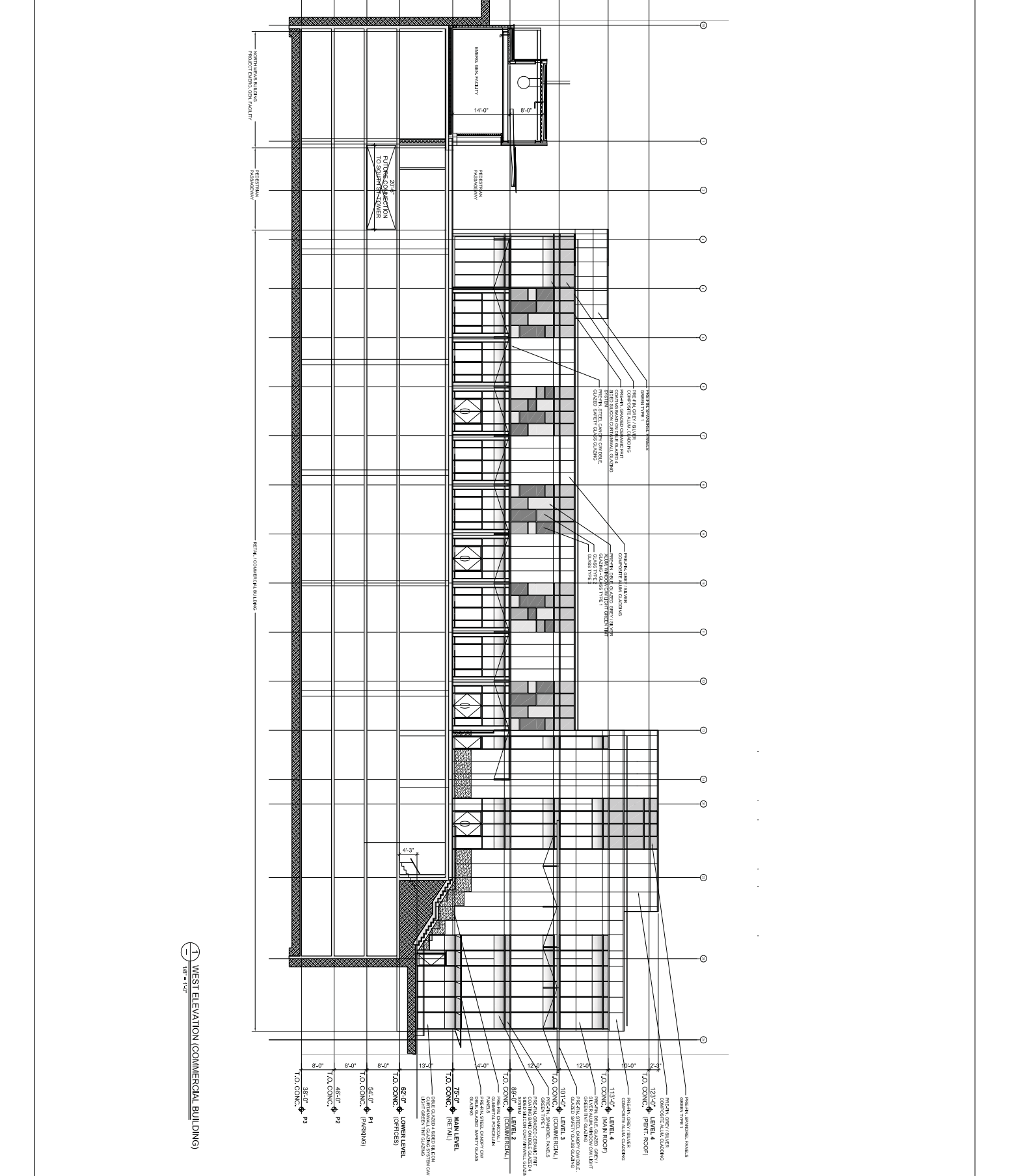
**Fenwick Tower Redevelopment**  
*for Templeton Properties*  
**5599 Fenwick Street**  
**Halifax, Nova Scotia**

NO. 1	WEST ELEVATION (WEST TOWER)
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NO. 50	WEST ELEVATION (WEST TOWER)

1 WEST ELEVATION (WEST TOWER)  
 1/8" = 1/8"







1 WEST ELEVATION (COMMERCIAL BUILDING)  
1/8" = 1'-0"



The undersigned is not a party to this Agreement and does not have any liability for the performance of the work under this Agreement. The undersigned is not responsible for the performance of the work under this Agreement and does not have any liability for the performance of the work under this Agreement.

PROFORMA SK

WEST ELEVATION (COMMERCIAL BUILDING)

## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
 for Templeton Properties  
 5599 Fenwick Street  
 Halifax, Nova Scotia

DATE: 2013.11.15	REVISION: 01
DATE: 2013.11.15	REVISION: 02
DATE: 2013.11.15	REVISION: 03
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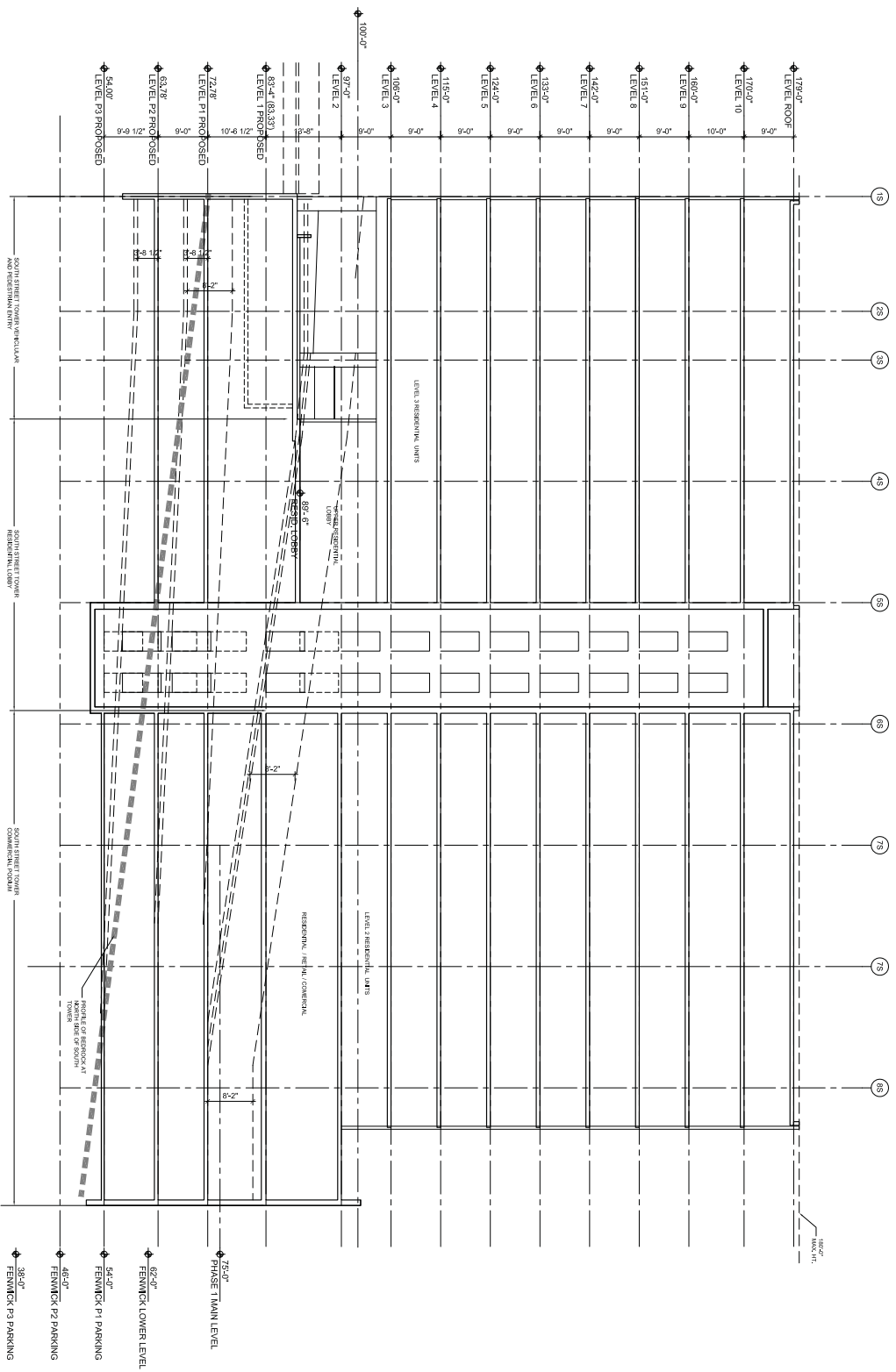
WEST ELEVATION  
COMMERCIAL BUILDING

A270









1 SOUTH TOWER SECTION  
1/8" = 1'-0"



AVRP  
ARCHITECTURE  
INC.  
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PROFITABLE S&L

DATE: 10/10/2014

## DEVELOPMENT AGREEMENT AMENDMENT

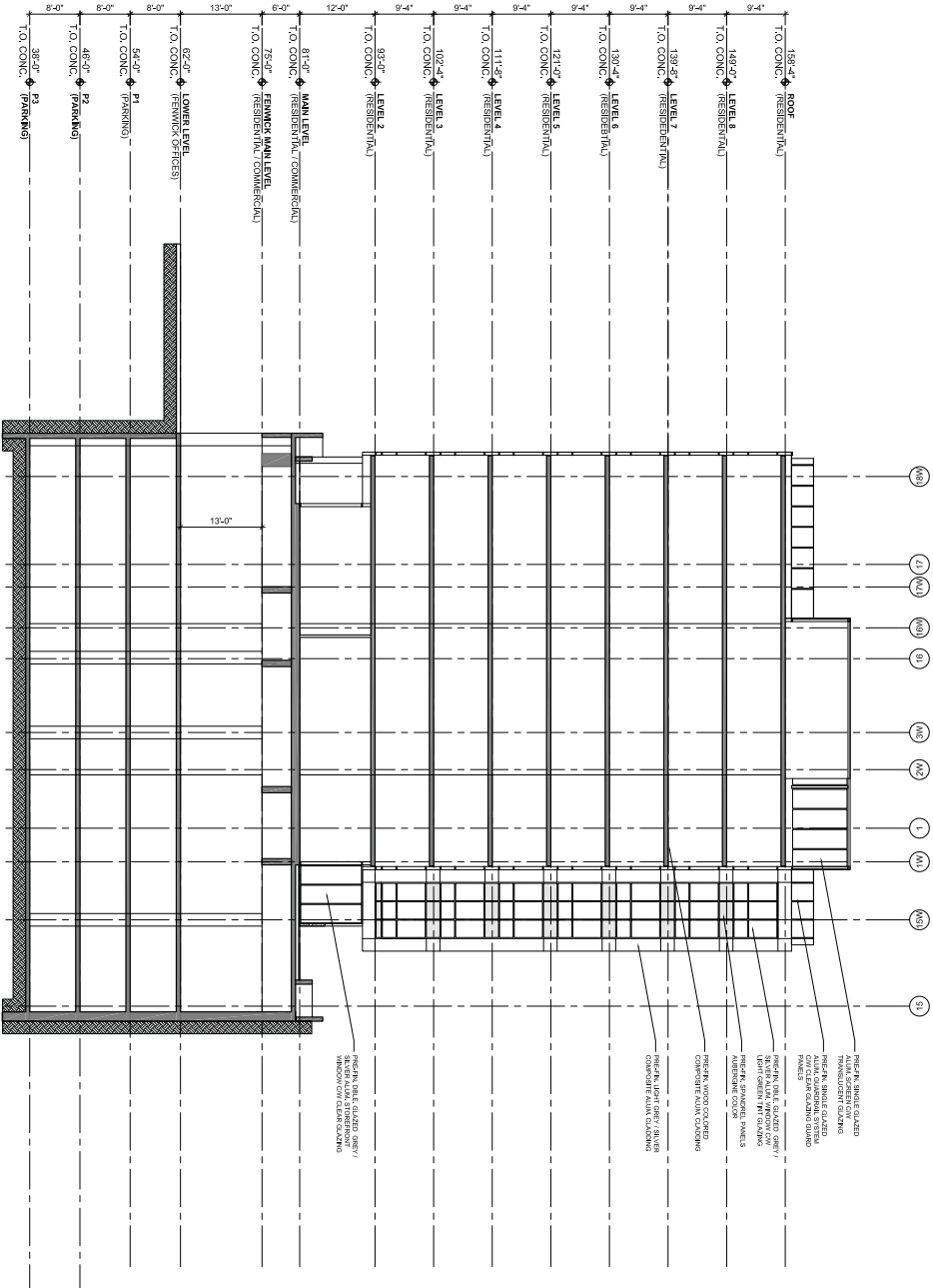
**Fenwick Tower  
Redevelopment**  
for Templeton Properties  
5595 Fenwick Street  
Halifax, Nova Scotia



NO.	DESCRIPTION	DATE
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19	ISSUED FOR PERMITTING	10/10/2014
20	ISSUED FOR PERMITTING	10/10/2014

SOUTH TOWER  
ENTRY RAMP SECTION

A321



1 EAST ELEVATION (WEST TOWER)  
1/8" = 1/4"

## DEVELOPMENT AGREEMENT AMENDMENT

**Fenwick Tower  
Redevelopment**  
*for Templeton Properties*  
5599 Fenwick Street  
Halifax, Nova Scotia



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NO.	REVISION	DATE
1	ISSUE FOR PERMITTING	2011-09-15
2	ISSUE FOR CONSTRUCTION	2012-03-15
3	ISSUE FOR OCCUPANCY	2012-06-15
4	ISSUE FOR AS-BUILT	2012-09-15
5	ISSUE FOR FINAL	2013-01-15
6	ISSUE FOR RECORD	2013-04-15
7	ISSUE FOR ARCHIVE	2013-07-15
8	ISSUE FOR LIBRARY	2013-10-15
9	ISSUE FOR MUSEUM	2014-01-15
10	ISSUE FOR GALLERY	2014-04-15
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13	ISSUE FOR COMMERCIAL	2015-01-15
14	ISSUE FOR INDUSTRIAL	2015-04-15
15	ISSUE FOR AGRICULTURAL	2015-07-15
16	ISSUE FOR RECREATIONAL	2015-10-15
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18	ISSUE FOR HISTORICAL	2016-04-15
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20	ISSUE FOR SCIENCE	2016-10-15
21	ISSUE FOR TECHNOLOGY	2017-01-15
22	ISSUE FOR HEALTHCARE	2017-04-15
23	ISSUE FOR EDUCATION	2017-07-15
24	ISSUE FOR RESEARCH	2017-10-15
25	ISSUE FOR DEVELOPMENT	2018-01-15
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29	ISSUE FOR ENVIRONMENTAL	2019-01-15
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100	ISSUE FOR RESTORATION	2036-10-15

SECTION WEST TOWER  
A340



Tel: 519.823.1311  
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Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West  
Guelph, Ontario, Canada  
N1K 1B8

May 13, 2014

Joe Metlege  
President  
Templeton Properties  
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902.445.5611 (f)  
[jm@templetonproperties.ca](mailto:jm@templetonproperties.ca)

**Re: Pedestrian Wind Conditions – Letter of Opinion  
Fenwick Towers  
Halifax, NS  
RWDI Reference Number: 1401737**

Dear Joe,

Rowan Williams Davies & Irwin Inc. (RWDI) has prepared this letter to comment on the potential wind effects of recent design changes to the proposed Fenwick Towers development in Halifax, Nova Scotia. Updated architectural drawings were provided to RWDI by Templeton Properties on March 31, 2014. This assessment is based on our extensive wind engineering experience in the Halifax area and the results of wind tunnel tests conducted for the same development in the past.

Wind tunnel tests were conducted by RWDI for the proposed development in 2011. Our findings were summarized in the following report:

“Final Report – Pedestrian Wind Study, Fenwick Towers, Halifax, Nova Scotia”, RWDI Project # 1101179, April 12, 2011.

The wind tunnel results from 2011 indicated that the wind conditions throughout the site improved with the addition of the proposed development, and most areas were expected to have suitable conditions. However, some uncomfortable conditions and exceedances of the safety criterion were predicted at the roof level terrace on Fenwick Tower and at the south end of the pedestrian walkway during the winter.

As indicated by the most updated drawings received by RWDI on March 31, 2014, there are several design modifications that may potentially affect pedestrian wind conditions:

- The tower will be re-cladded but maintain much of its current form.
- The east, west and south extensions have been eliminated.
- The roof level terrace has been modified.

This document is intended for the sole use of the party to whom it is addressed and may contain information that is privileged and/or confidential. If you have received this in error, please notify us immediately.

\* RWDI name and logo are registered trademarks in Canada and the United States of America



CONSULTING ENGINEERS  
& SCIENTISTS

Templeton Properties  
RWDI#1401737  
May 13, 2014

Page 2

- The ground level pedestrian mews and the main entrance to Fenwick Tower have been moved from the west side of the tower to the east side.
- The glass canopy shelters have been expanded over much of the pedestrian mews. Canopies over all entrances are maintained.
- A walkway to the south of Fenwick Tower has been added.



Image 1a – Wind Tunnel Model in 2011

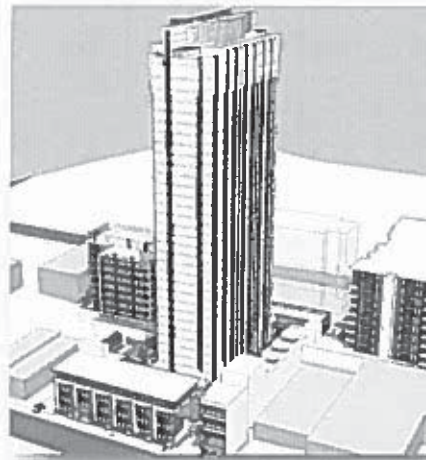


Image 1b – Revised Design in 2014

Considering the similarity in building massing, it is our opinion that the potential wind conditions around the currently proposed development will be similar to those predicted by the past wind tunnel tests. In particular, the change in cladding is expected to have very little impact on the wind conditions. The modifications to the roof level terrace, including a partition wall between the east and west sides of the terrace and a trellis on the east side, are positive design elements. We expect that the wind conditions in this area will be similar to or better than what was tested in 2011.

The only significant change in wind conditions would result from the ground level pedestrian mews being moved from the west side of Fenwick Tower to the east side, as indicated in Image 2. The uncomfortable conditions and exceedance of the safety criterion that occurred near the south end of the pedestrian walkway would no longer exist, since that space will now be occupied by a solid building. On the east side of the building at the new site of the pedestrian mews, conditions are generally expected to be comfortable for standing during the summer and comfortable for walking during the winter, which is suitable for a pedestrian walkway. In addition, the canopies that extend over the pedestrian mews will further improve wind conditions due to the sheltering effect from downwashing wind flows.



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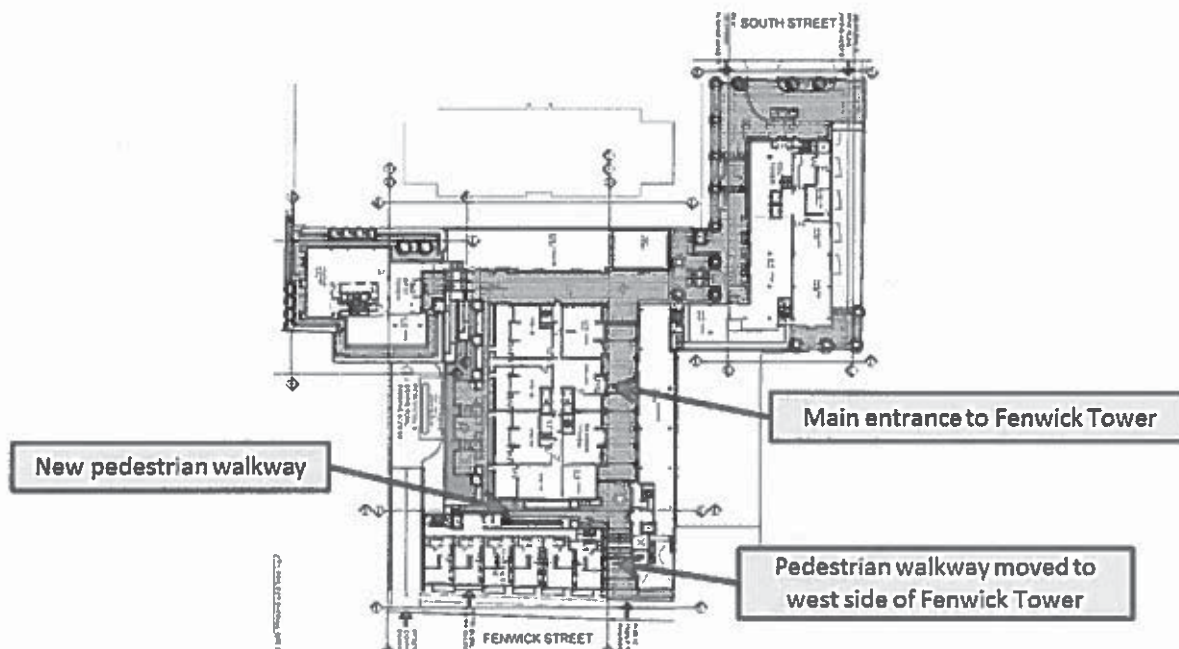


Image 2 – Proposed Ground Floor Plan

The main entrance to Fenwick Tower has also been moved from the west side of the building to the east side, as indicated in Image 2. On the east side of the building, wind speeds comfortable for walking were predicted in 2011, which is not considered suitable for pedestrian usage at a main entrance. However, the canopy included in the current design above the entrance will reduce local wind speeds by protecting the entrance from downwashing wind flows. In addition, the inclusion of the vestibule is a positive design element because it provides pedestrians a place to wait during windy conditions. Therefore, this main entrance is expected to be suitable for pedestrian usage.

In addition to the above changes, a new pedestrian walkway has been added to the south of Fenwick Tower, as indicated in Image 2. This area was not modelled in the previous wind tunnel tests. It is expected that wind conditions in this area will be comfortable for walking or better, which is suitable for a walkway.

Overall, the pedestrian wind conditions for the current design are predicted to be similar to or better than those predicted by our previous wind tunnel tests in 2011. We trust the above assessment satisfies your requirements for the project. Should you have any questions or require additional information, please do not hesitate to contact us.



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Yours very truly,

**ROWAN WILLIAMS DAVIES & IRWIN Inc.**

Original signed

✓

Jill Bond, B.A.Sc., E.I.T.  
Technical Coordinator

Original signed

Hanqing Wu, Ph.D., P.Eng.  
Technical Director / Principal

Original signed

Edyta Chruscinski, P.Eng, LEED AP  
Project Manager

**HALIFAX REGIONAL MUNICIPALITY**  
**Public Information Meeting**  
**Case No. 19293**

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**Thursday, June 26, 2014**  
**7:00 p.m.**  
**The Westin Nova Scotia**

**STAFF IN**

**ATTENDANCE:**

Miles Agar, Planner, HRM Planning Applications  
Alden Thurston, Planning Technician, HRM Planning Applications  
Cara McFarlane, Planning Controller, HRM Planning Applications

**ALSO IN**

**ATTENDANCE:**

Councillor Waye Mason, District 7  
Joe Metlege, Templeton Properties

**PUBLIC IN**

**ATTENDANCE:**

Approximately 7

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The meeting commenced at approximately 7:05 pm.

**1. Call to order, purpose of meeting – Miles Agar**

Mr. Agar introduced himself as the Planner facilitating this application through the planning process; Cara McFarlane and Alden Thurston, HRM Planning Applications; Joe Metlege, President of Templeton Properties; and Councillor Waye Mason, District 7.

The PIM agenda was reviewed.

The purpose of the Public Information Meeting (PIM) is to identify that HRM has received an application, give some background on the proposal and receive feedback on the proposal from the public. This is purely for information exchange and no decisions are made at the PIM.

**2. Overview of planning process – Miles Agar**

HRM has received the application; Staff has conducted a preliminary review; the PIM is being held this evening; Staff will provide Districts 7 and 8 Planning Advisory Committee (PAC) with information on the proposal and comments from this meeting so they can provide a recommendation to Halifax and West Community Council (HWCC); Staff will conduct a detailed review and provide HWCC with a staff report providing a recommendation and analysing the details of the proposal; HWCC will give first reading and schedule a public hearing where a decision on the application will be made; the decision is subject to a 14 day appeal period; if not appealed, the development agreement would move through the registration process and be eligible for building permits.

**3. Presentation of proposal – Miles Agar**

Templeton Properties has submitted an application to amend the existing development agreement to allow for changes to the approved building elements.

In 2011, Regional Council approved a Municipal Planning Strategy (MPS) Policy which allows for the consideration of a comprehensive redevelopment of this entire site under a development agreement. The development agreement allowed for an addition to the existing Fenwick Tower, two additional towers, a townhouse style building, a pedestrian connection between Fenwick and South Streets, and some commercial uses along that connection.

Mr. Agar showed a site plan of the existing approval and what is permitted in terms of a building addition to Fenwick Tower.

A graphic representation of the building under the existing approval was shown.

The applicant proposes to: a) relocate the pedestrian passage; b) reduce the height and size of Fenwick Tower in terms of the permitted expansion; c) change the Fenwick Street side of the development and a few changes to the South Tower; d) reconfigure the placement of the larger units (two bedrooms) within the development; and e) reduce the onsite parking.

The applicant is requesting to move the pedestrian passage to the eastern side of Fenwick Tower from Fenwick Street up to South Street.

Shown were the building elements that are permitted under the existing approval. The proposal is to take the existing building in its current form, provide a treatment along the roofline and re-clad the building. The pedestrian passageway was shown to the east of Fenwick Tower as opposed to the west and the townhouse style and commercial mews buildings were shown. On South Street, the building scale remains the same; however, the first and second floor are recessed back from the street to provide the opportunity for vehicle drop off and the portions above will become a streetwall along South Street.

The reconfiguration of the two bedroom units was shown. The existing agreement requires 50% of all the dwelling units (510 units) within each building element of the entire development to have at least two bedrooms or greater. The applicant is proposing to have more two bedroom units within the tower. Because Fenwick Tower is not being expanding, there would be fewer overall units.

The existing approval requires a minimum of 420 parking spaces. The applicant is proposing 372 onsite spaces with the option of the lowest level of underground parking to be converted for storage if required.

### **Presentation of Proposal – Joe Metlege**

Mr. Metlege outlined their request.

Relocating the pedestrian passageway makes sense in order to be used as a throughfare for pedestrians within the site as well as off the site to access the commercial component of the development. This would allow for the public open space and landscaping to be on the west side of the development close to the neighbouring apartment building and residential homes and shift more of the commercial focus to the east side to compliment the commercial already along Fenwick Street. The way that the buildings will be structured creates an opportunity for more comprehensive weather protection throughout the mews. It would still be open access but would provide more protection from the weather from overhead.

The applicant is proposing to eliminate the addition to Fenwick Tower that was previously approved except for the podium portion. It is important to create a stepback from Fenwick Street and keep a more human scale along the street. It allows: a) more open space on the site; b)



reduces the mass of Fenwick Tower; c) allows for a larger setback (about 40 feet) for the Tower from Fenwick Street; and d) reduction in the number of units in the tower itself.

With regards to the South Street tower, the applicant is proposing to create a looped driveway in place of the first two floors to create an area for vehicles to drop off/pick up within the site in a protected area as opposed to stopping on the side of the street in all kinds of weather and creating congestion.

The existing approval requires that every building have 50% of the units as two bedrooms. The proposal will actually reduce the number of units on the site substantially and allow the properties to be more manageable. The intent of the two smaller buildings is to create high-end affordable units by having a smaller area of unit. Overall, this proposal has a larger percentage of two bedrooms on the site.

Originally, there were parking spaces allocated within the tower for neighbours to reserve parking spaces in order to have off-street parking during the winter. That number will not change; however, with a substantial reduction in the unit counts, not as much parking is needed. The option to provide storage, if needed, is still available. One of the underground parking levels could potentially be converted and still have ample parking for the site.

#### **4. Questions and Comments**

**Chris Spencer, Fenwick Street** – Applauded the applicant's efforts. There was talk about the manageability of the bigger towers but he is concerned about the two smaller buildings, considerable inflation in the number of units and the shift to more affordable units. He agrees with having a mix of social and income levels, but visualizes some instability and turnover in terms of populous that is closer to where he lives on that side of the development. **Mr. Metlege** said that the applicant's intent is to attract those who value high-end elements. The existing approval has all the buildings connected, but shifting the unit counts and separating the buildings will allow for resident managers in each building.

**Mr. Spencer** – Will there be a full-time security presence 24 hours a day? **Mr. Metlege** said that today there is and moving forward there will be. This function is provided by the live-in superintendents and managers of each building. Currently, Fenwick Tower has a call centre service as well.

**Mr. Spencer** – Some residents were against balconies in the last proposal. **Mr. Metlege** said that all but three balconies have been eliminated. Balconies serve to break up the building and avoid the appearance of a commercial building.

**Mr. Spencer** – How will the cladding change? **Mr. Metlege** explained that the same materials will be used. Essentially, where the windows and patios are now, the precast will be removed and six feet of the opening will be glass. The existing blank concrete shear walls that protrude out from the building will be wrapped in aluminum paneling. When it comes to colours, suggestions are welcomed. The applicant's desire would be to keep the metallic color range. **Mr. Spencer** would like to see something that breaks up the mass of the building along Fenwick Street.

**Mr. Spencer** – Councillor Uteck gave the residents assurance that re-cladding the tower would be one of the first things done. Is that still the case? **Mr. Metlege** said it would be. The original approval had the tower being cladded last but they have asked to have that changed with this proposal.

During the question period of the PIM, **Mr. Agar** mentioned that Councillor Mason excused himself to attend a public hearing at HWCC.

**Mr. Spencer** – How will the construction vehicles be entering the site during construction? The applicant said it would be coming off of South Street so the residents wouldn't see any of it. **Mr. Metlege** said he never gave assurance that all of it would be coming off of South Street but the majority (about 90%) would be as there is a natural landing lot and it is a larger street. **Mr. Spencer** would like to have on the record that this issue was discussed with Councillor Uteck. During the construction phase, considering some type of traffic break along Fenwick Street would stop the traffic flow throughout as it goes towards the west block which is zoned differently. If construction traffic wanted to come in off of Fenwick Street, they would come from the east side rather than the west side of Fenwick through the R-2A Zone. This would be a reasonable compromise on the part of HRM to consider some of the special needs of the community around this development. **Mr. Agar** explained that from the planning side of things, land use rules are allowed to be applied to the private property but the development agreement itself wouldn't include clauses that talk about traffic; however, that would be brought up with the Engineering department. It is a good idea to bring it up with the area Councillor as well. **Mr. Spencer** did bring forward special considerations that he felt were warranted during the hearing before full council for the previous approval. This is a prolific development and a good thing, but the special interests and needs of the local community have to be considered particularly during the construction phase. Councillor Uteck and the full council were behind this. He wanted to reinforce this to be a solid expectation on his part that HRM will respond in a constructive, solution-oriented way.

**Mr. Spencer** – He asked about the rental versus condo mix. **Mr. Metlege** said it will not make a difference in terms of design and development. The buildings are constructed as if they were condominiums.

**Mr. Spencer** – How are deliveries and commercial comings and goings going to be managed on that site? **Mr. Metlege** mentioned that the commercial component has been cut from 90,000 square feet to 40,000 square feet. The circulation on the site hasn't changed and will connect by the underground parking. **Mr. Spencer** asked if there was a visual showing the loading area aesthetically as that is what he will see from his end. **Mr. Metlege** said that the garbage for the two buildings shown would be handled underneath the building. The South Tower will handle its own garbage and be serviced off of South Street. The layout and design of the lower lobby has not changed from the original approval. There will be landscaping in the loop but it is a very small area. All of the landscaping will happen on the podium level. **Mr. Spencer** suggested planters and a green wall. The pedestrian access would have to be aesthetically pleasing as well.

**Mr. Spencer** – He is concerned that the narrow alleyways will have an industrial look and dead space. There will be a lot of pedestrians and hopefully fewer vehicles. He suggested removing one of the units (area shown) and reducing the width of some other units in order to open up the area to provide a more natural aesthetic entranceway. **Mr. Metlege** assured that it will be just that and it won't require any touch-ups because it already incorporates a walkway.

**Dane Hollett, Barrington Street** – He thanked Mr. Metlege for his dedication to improve the look of the tower. The previous plan was frustrating as it infringed on a viewplane. Why does downscaling a development need approval from HRM? **Mr. Agar** explained that the policy in place for this site allows for certain things to be considered and some of them are maximums. This site has a development agreement on it which allows the development to happen as shown in the previous drawings. Therefore, to make the requested changes requires the consideration of this process.

**Mr. Hollett** – Could the building be longer as opposed to wider to accommodate additional units on the north or south face? **Mr. Metlege** said it would throw the architecture of the building off.

**Mr. Hollett** – Can the canopy for the walkway be lowered? **Mr. Metlege** would look into it with the architect but it may have to do with the elevation change as it goes lower and deeper into the site at the second storey.

**Mr. Hollett** – What type of commercial is anticipated to move in? **Mr. Metlege** said it would be smaller scale commercial (small boutique shops, maybe a restaurant) anywhere between 3,000 and 5,000 square feet.

**Mr. Hollett** – Where would the car/pedestrian entrances be for the other building? **Mr. Metlege** showed the location of the pedestrian/vehicle accesses and underground parking.

## **5. Closing Comments**

**Mr. Agar** thanked everyone for coming and expressing their comments.

## **6. Adjournment**

The meeting adjourned at approximately 8:07 p.m.