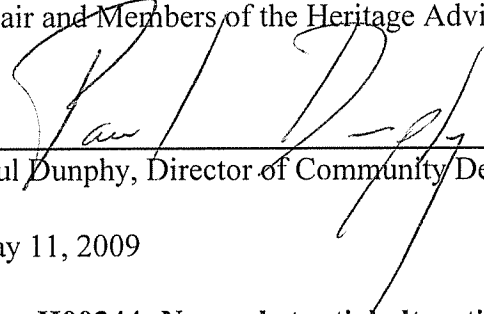




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Heritage Advisory Committee
May 27, 2009

TO: Chair and Members of the Heritage Advisory Committee

SUBMITTED BY: 
Paul Dunphy, Director of Community Development

DATE: May 11, 2009

SUBJECT: **Case H00344: Non-substantial alterations to 1483 Carlton Street, Halifax.**

ORIGIN

Request by the owner, Sandy Rutledge, for approval of non-substantial alterations to 1483 Carlton Street, Halifax, a municipally registered heritage property.

RECOMMENDATION

It is recommended that the Heritage Advisory Committee provide a positive recommendation to heritage staff regarding the Level Two non-substantial alterations as outlined in this report with the exception of the modification of the basement windows on the front facade which should be required to be reinstated with, preferably, wood or vinyl windows.

BACKGROUND

The owners have requested approval to make alterations to the building as follows:

- to replace two existing basement windows on the front facade with non traditional window materials, that being glass blocks, as a result of repeated vandalism of these windows and as an attempt to prevent it's reoccurrence;
- to replace a basement window in the rear with a larger window of non traditional material, that being a PVC insert, in order to meet the Building Code requirements for egress;
- to replace a deteriorating main floor window on the north side of the house with a same size and style non traditional window materials, that being a PVC insert, and to move the window about 6 inches to the west away from an interior bathtub;
- to replace a deteriorating set of double doors on the rear of the building with two energy efficient side by side windows of a comparable size and style to the rest of the building's windows in a non traditional material, that being a PVC insert, and to finish below the windows in cedar shingles painted to match the rest of the building;
- to remove a small addition (approximately 6 ft. by 8 ft.) from probably the 1980's to the rear at the second floor level above the rear kitchen;
- to change the roof line over a rear single storey kitchen to create a flat roof which will function as a roof deck for the residential dwelling unit; and
- to replace the tar and gravel roofing material on the back kitchen roof with non traditional roofing material, that being Duradek which is a vinyl waterproof deck membrane, in a brownish grey colour, thereby allowing it's use as a deck.

Heritage Value of the Carlton Street Victorian Streetscape

The building is valued both for its architectural style (Late Victorian Eclectic), and its location as part of a Victorian Streetscape.

Carlton Victorian Streetscape is valued as an excellent example of a Victorian era residential street. Originally Carlton Street was part of the South Commons in Halifax. Prior to 1818, this area was divided into four large lots that were purchased by merchants Richard Tremaine and John Staynor. The lots were further subdivided and houses began to be built in 1860 and continued until 1906. During this period construction materials and labour were inexpensive. Those with considerable financial resources, built lavish houses, such as those on Carlton Street, employing many men. Following the end of World War I the cost of building supplies increased and there was shortage of labour, both of which slowed the construction of elaborate and large homes. In addition Victorian homes, such as these on Carlton Street, became too costly to maintain and often were converted to rooming houses or hotels, and some were demolished and replaced by smaller, unadorned dwellings. Today, Carlton Victorian Streetscape is a rare example of an intact Victorian era street, consisting of seventeen large and lavish homes.

Architecturally, Carlton Victorian Streetscape is valued for its sense of unity in scale, materials, and detail. These homes incorporate and blend elements of the Greek Revival, Modified Gothic, and

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Second Empire styles. The combination of these styles in the Victorian era is known as Late Victorian Eclectic style. The houses and townhouses range between two and three storeys, which allows for the human scale and sense of community to flourish. All of the houses are of wood frame construction. There is a variety in the pitch and type of roof lines, placement of the doorways, and window styles that complement each other's unique characteristics. In addition, the buildings offer a vast array of dormers, windows, and bays, decoration, porches, and verandas. Each house commands its own attention and complements its adjoining, adjacent, and opposite structure.

Character Defining Elements

1483 Carlton Street is a large, two storey, wood framed Eclectic Victorian styled house. The building has a steeply pitched gable roof and flat roof sections, angled dormers, front door with transom and side lights, front ground floor windows and front door with pediments and with slightly overhanging eaves (Attachment B).

DISCUSSION***Proposed Alterations***

It should be noted that the majority of the work requesting approval has already been completed as evidenced in the photographs in Attachment A. As a result of the change to the roof line, some gingerbread detailing has been removed and no longer has context for its retention. A wooden railing will also need to be located around the perimeter of the roof deck for safety purposes which will further change the appearance of this roof area which is visible from Carlton Street.

Heritage Advisory Committee (Level 2) approval is required for changes to the building which use non-traditional building materials including window replacement, partial demolition and for the modification of the roof line.

Building Conservation Standards

The proposal must be evaluated against HRM's Building Conservation Standards for Heritage Properties (Attachment B), and staff offer the following comments relative to applicable standards:

- There is no change proposed to the historic purpose of the building, and the majority of the window alterations will not affect the historic character of the building. The use of glass block for the basement windows on the front facade is not in keeping with the historic character of the building. The owner has indicated that glass block was used to deter vandalism. The security concerns could be addressed more appropriately through the use of decorative metal grill work which would be more in keeping with the building's time period.
- Some historic materials have been removed in the redesign of the rear roof line and creation of the roof top deck. It is unlikely that reinstatement would occur here and it would potentially jeopardize the functionality of the roof deck.

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- The change in window materials and the redesign of the rear roof line will not create a false sense of historical development, with the exception of the glass block windows, and should be clearly visible as new work. All other distinctive features, finishes and construction techniques will be preserved.

Summary

The proposed new main floor windows are appropriate for the building in terms of style and dimensions with the exception of the modification of the basement windows on the front facade which should be required to be reinstated with, preferably, wood or vinyl windows. To address the security concerns, the owner should consider decorative metal grill work which would be more in keeping with the historical building style. The Duradek material proposed for the roof, although non-traditional, is located at the rear of the property on a flat roof and is not visible. Staff feel the proposal generally meets the Building Conservation Standards for Heritage Properties, and based on these considerations staff are of the opinion that the proposal be approved with the suggested modification.

BUDGET IMPLICATIONS

The HRM costs associated with processing this application can be accommodated within the proposed operating budget for C310. HRM is not responsible for renovation costs.

FINANCIAL MANAGEMENT POLICIES / BUSINESS PLAN

This report complies with the Municipality's Multi-Year Financial Strategy, the approved Operating, Capital and Reserve budgets, policies and procedures regarding withdrawals from the utilization of Capital and Operating reserves, as well as any relevant legislation.

ALTERNATIVES

1. The Heritage Advisory Committee may approve the proposed alterations to 1483 Carlton Street, with conditions or suggested changes.
2. The Heritage Advisory Committee may refuse the proposed alterations to 1483 Carlton Street.

ATTACHMENTS

Map 1	Location Map
Attachment A	Photographs of 1483 Carlton Street, Halifax
Attachment B	Building Conservation Standards for Heritage Properties in HRM

A copy of this report can be obtained online at <http://www.halifax.ca/boardscom/hac/Agendas.html> then choose the appropriate meeting date, or by contacting the Office of the Municipal Clerk at 490-4210, or Fax 490-4208.

Report Prepared by : Randa Wheaton, Senior Planner 490-4499

Report Approved by:





Austin French, Manager, Planning Services, 490-6717



Map 1 - Location Map

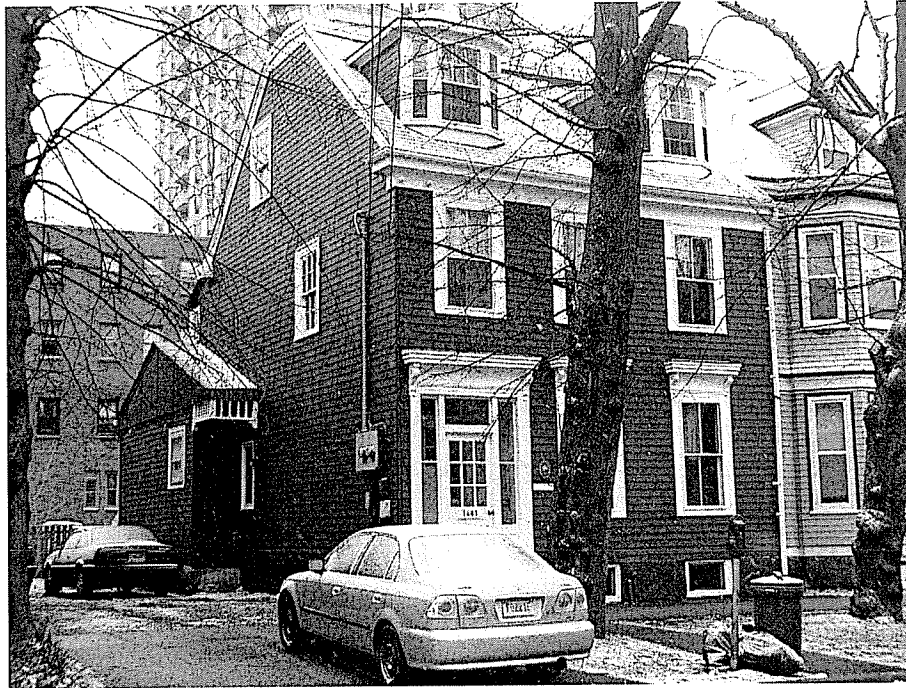
**1483 Carlton St.
Halifax, NS**

-  Subject Property
-  Heritage property

HALIFAX
REGIONAL MUNICIPALITY
COMMUNITY DEVELOPMENT
HERITAGE AND DESIGN SERVICES

HRM does not guarantee the accuracy
of any representation on this plan

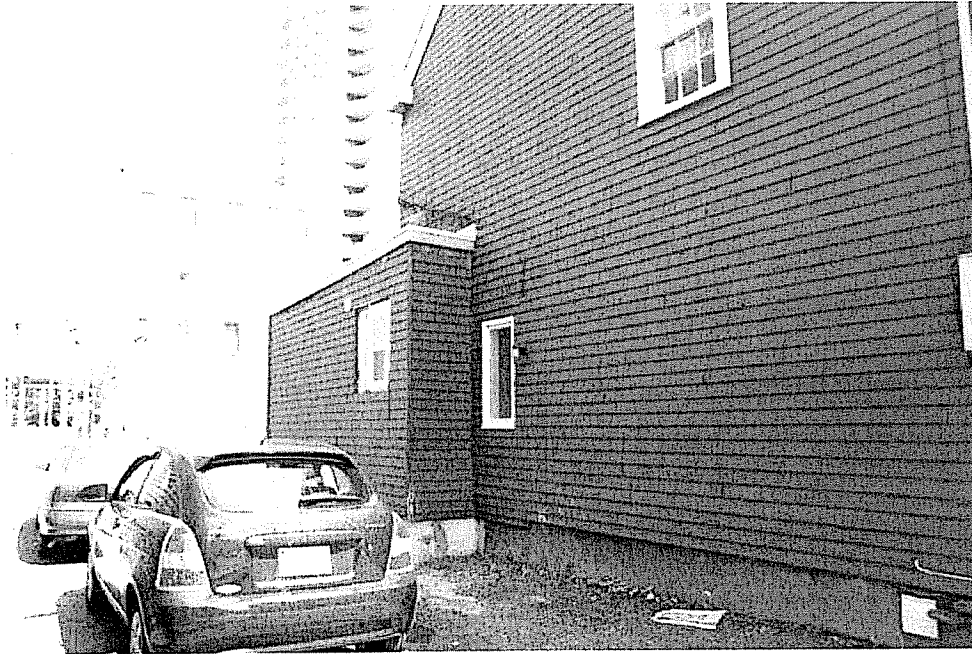
Attachment A - Photographs



Front and North side elevation of 1483 Carlton Street from 2006



Rear elevation of 1483 Carlton Street showing a new basement window, windows replacing a double door, replaced roof and area on the second floor where a small rear addition was removed.



North side and rear elevations of 1438 Carlton Street showing the changed roof line and main floor window that was moved and replaced.



Front elevation of 1483 Carlton Street showing glass block in place of the basement windows.

Attachment B : Building Conservation Standards for Heritage Properties in HRM

The following standards will be used to assess all applications for property alteration and financial assistance. The historic character of a heritage resource is based on the assumptions that (a) the historic materials and features and their unique craftsmanship are of primary importance and that (b) in consequence, they are to be retained, and restored to the greatest extent possible, not removed and replaced with materials and features which appear to be historic, but which are in fact new.

- 1) The property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building, its site and environment.
- 2) The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize the property shall be avoided.
- 3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding hypothetical features or architectural elements from other buildings, shall not be undertaken.
- 4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the property shall be preserved.
- 6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old design in colour, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7) The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used.
- 8) Significant archaeological resources affected by the project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- 9) New additions, exterior alterations, or related new construction shall not destroy materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The above-noted standards are based on the Conservation Standards used by the United States Secretary of the Interior (36 CFR 67) (1991). They are generally in keeping with most Conservation principles, including the Venice Charter (1964)