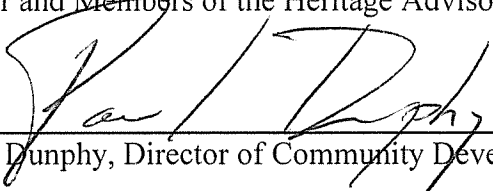




PO Box 1749
Halifax, Nova Scotia
B3J 3A5 Canada

Heritage Advisory Committee
July 23, 2008

TO: Chair and Members of the Heritage Advisory Committee

SUBMITTED BY: 
Paul Dunphy, Director of Community Development

DATE: July 11, 2008

SUBJECT: Case H00223: Substantial alterations to 1533 Barrington Street
(Masonic Hall), Halifax, a municipally registered heritage property

ORIGIN

David Garrett Architects have made an application, on behalf of the owner, Annapolis Management Inc., partners with Ruby, LLP, for approval of substantial alterations to 1533 Barrington Street, Halifax.

RECOMMENDATION

It is recommended that the Heritage Advisory Committee approve the alterations as outlined in this report.

BACKGROUND

History of the Building / Existing Architectural Character/ Proposed Alterations

Occupying a sloping site at the end of the block bounded by Barrington, Salter and Granville Streets, the Masonic Hall was built in 1924 and replaced an earlier lodge on the same site. Designed by architect, S. P. Dumaresq in the Beaux Arts style, the brick building is a remarkable early 20th-century interpretation of traditional classical elements combined with modern effects. Three storeys high on Barrington and four storeys on Granville, the building is notable for its well-ordered, symmetrical fenestration and its elaborate sandstone ornamentation, particularly on the front facade facing Barrington. (See photo in Attachment "A").

The front facade has a strong classical composition. Six sandstone pilasters surmounted by a frieze and entablature divide the facade into five bays, creating a classical temple effect. The central bay is accentuated by double pilasters. At ground level, the visual focus is a central entrance framed by massive pillars and columns which support an entablature and balustrade. The second floor windows are tall and roundheaded and trimmed with plain sandstone surrounds and central keystones. The central window on the second floor is deeply recessed and more ornately trimmed, adding to the compositional effect of the central bay above the entrance. The third level has no windows but is defined by five medallions symbolizing the Masonic Order. The side elevation (on Salter Street) and rear elevation (on Granville) are less elaborately ornamented but equally well-ordered with symmetrical windows on both faces, except at ground level on Granville, where windows and doors are more randomly placed.

Continuously owned by the Freemasons since its construction, the building was sold to new owners in May 2008. The new owners are converting the building to office use and have permits for the structural and interior renovation components of the work. Heritage Advisory Committee (Level 2) approval is required for the exterior components of the work.

DISCUSSION

Proposed Alterations

At present, the building has four levels, as follows (see Attachment "C", drawings A1.0 - A1.5):

- Basement level accessed from Granville St., with a caretaker's apartment and storage area.
- The Ground Floor level, presently divided into a Lower Ground Floor level accessed from Salter Street (occupied until recently by the Locas Bar and storage areas) and a main Ground Floor level accessed from Barrington Street entrance (occupied until recently by two retail businesses - Junk & Foibles and Halifax Estate Jewellery).
- Second Floor accessed by stairs from both the Barrington Street and Salter Street entrances and occupied until recently by Freemasons offices.
- Third Floor accessed by stairs from the Barrington and Salter Street entrances and until recently occupied by Freemasons Lodge Rooms.

H00223: Alterations to 1553 Barrington St. - 3 -

The Lower Ground Floor level (Locas Bar) and the Third Floor Level (Lodge Rooms) both have very high ceilings which enables them each to be sub-divided into two floors, and this is what is being undertaken. Overall, these interior renovations will convert the interior space into six floor levels, which will require exterior window alterations as follows:

Side Elevation: Salter Street (see Attachment "C", drawings A2.0 and A2.1)

- The existing tall windows for the former Locas Bar space will have their openings extended upward to enable them to be divided into separate upper and lower windows to light the two new floors of office space into which the former bar space will be divided.
- The new windows will be aluminum clad wood windows, with brown colour to match the existing windows.
- Trim around the new windows will match existing window trim, with new sandstone sills and new soldier course brick lintels.
- Windows in the former storage area, to the left of the Salter Street entrance will also be replaced in their existing openings, again with aluminum clad wood units.
- On the top floor, a series of new, small, square window openings (2 ft. x 2ft.) will be created just above the cornice to light the new uppermost level of office space into which the Lodge rooms will be divided.
- All new windows will align with the existing windows and conform with the symmetry of the existing fenestration.

Front Elevation: Barrington Street (see Attachment "C" drawing A2.2)

- The street level display windows will have their sills lowered to enlarge the window opening slightly and enable greater retail display space. Existing sandstone sills will be re-used.

Rear Elevation: Granville Street (see Attachment "C" drawing A2.3)

- At basement level, existing window and door openings will be slightly enlarged and re-positioned to bring them into better alignment with the symmetrical fenestration on the upper floors, and to bring more light into the basement area.
- The existing Locas Bar windows will be re-configured in the same manner as on the Salter Street elevation.
- On the top floor, new 2x2ft. windows will be created as on the Salter Street elevation.

Building Conservation Standards: Evaluation of Proposed Alterations

The proposal must be evaluated against HRM's Heritage Building Conservation Standards (see Attachment B), and staff offer the following comments relative to each standard.

Standard#1: Continue historic use or find compatible new use

The Freemason's Hall has outlived its original use, with the Freemason's organization having chosen to sell and move elsewhere. The conversion to office use, with continued retail at street level on Barrington, fits well with neighbouring uses and is a compatible adaptive re-use of this building.

H00223: Alterations to 1553 Barrington St. - 4 -

Standard #2: Retain historic character. Do not remove character defining elements

All character defining elements will remain intact. The proposed window alterations will be integrated with the existing fenestration, with new windows and window trim inserted in the same style as existing.

Standard #3: Do not create false sense of historical development

The window alterations will both reflect the current change of use, as an expression of the evolution of the building, and be compatible within the original architectural expression.

Standard #4: Retain changes that have acquired historic significance in their own right

Not applicable, as this building has not had any significant exterior change since it was built.

Standard #5: Retain distinctive finishes, etc., that characterize the property

Original ornamental elements will all be retained, including the classical temple front, the prominent frieze and cornice, and the original windows and trim.

Standard #6: Repair rather than replace. Replace only when necessary

The proposed window alterations are necessary to enable the interior conversion and bring light into the reconfigured interior spaces.

Standard #7: Gentle surface cleaning

Not applicable. No cleaning necessary or proposed.

Standard #8: Protect archeological resources

Not applicable.

Standard #9: New work to be differentiated from and compatible with existing scale, massing, etc.

The approach taken here, of fitting new work in with the old, in exactly the same style as what presently exists, is appropriate in this situation, given the prominence of this building and the formal quality of its original exterior design.

Standard #10: Preserve form and integrity of original structure

The proposed alterations do not diminish the architectural integrity of this building.

Conclusion

Re-configuration of the interior space and the resulting exterior alterations to the Freemasons Hall will enable compatible, adaptive re-use of the property without any significant reduction of historic character or integrity. Staff recommend that the alterations be approved.

H00223: Alterations to 1553 Barrington St. - 5 -

BUDGET IMPLICATIONS

The HRM costs associated with processing this application can be accommodated within the approved C310 operating budget.

FINANCIAL MANAGEMENT POLICIES / BUSINESS PLAN

This report complies with the Municipality's Multi-Year Financial Strategy, the approved Operating, Capital and Reserve budgets, policies and procedures regarding withdrawals from the utilization of Capital and Operating reserves, as well as any relevant legislation.

ALTERNATIVES

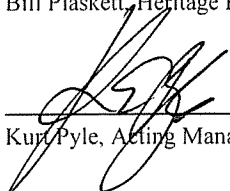
- 1) The Heritage Advisory Committee may approve the proposed alterations to 1553 Barrington Street, with or without conditions, and this is the recommended course of action.
- 2) The Heritage Advisory Committee may refuse the proposed alterations to 1877-79 Hollis Street, but this is not recommended.

ATTACHMENTS

Attachment A	Photograph
Attachment B	Building Conservation Standards for Heritage Properties in HRM
Attachment C	Architects floor plans and exterior facade alterations

A copy of this report can be obtained online at <http://www.halifax.ca/commcoun/cc.html> then choose the appropriate Community Council and meeting date, or by contacting the Office of the Municipal Clerk at 490-4210, or Fax 490-4208.

Report Prepared by : Bill Plaskett, Heritage Planner 490-4643

Report Approved by: 
Kurt Pyle, Acting Manager, Planning Services, 490-7066

Attachment A



The Freemasons Hall is located at the corner of Barrington and Salter Streets in Downtown Halifax.

Attachment B: Building Conservation Standards for Heritage Properties in HRM

The following standards will be used to assess all applications for property alteration and financial assistance. The historic character of a heritage resource is based on the assumptions that (a) the historic materials and features and their unique craftsmanship are of primary importance and that (b) in consequence, they are to be retained, and restored to the greatest extent possible, not removed and replaced with materials and features which appear to be historic, but which are in fact new.

- 1) The property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building, its site and environment.
- 2) The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize the property shall be avoided.
- 3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding hypothetical features or architectural elements from other buildings, shall not be undertaken.
- 4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the property shall be preserved.
- 6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old design in colour, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- 7) The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used.
- 8) Significant archaeological resources affected by the project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- 9) New additions, exterior alterations, or related new construction shall not destroy materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The above-noted standards are based on the Conservation Standards used by the United States Secretary of the Interior (36 CFR 67) (1991). They are generally in keeping with most Conservation principles, including the Venice Charter (1964).

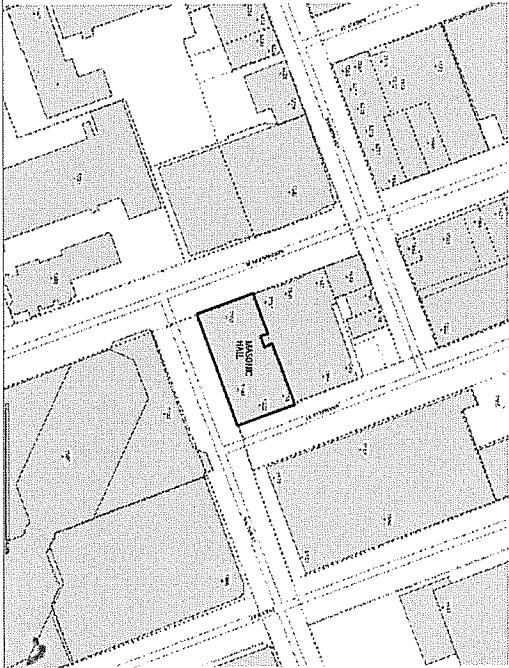
Attachment “C”

Proposed Alterations


(as submitted by David Garrett Architects)

Drawing A0:	Location Map
Drawings A1.0-1.5:	Floor plans
Drawings A2.0-2.3:	Exterior Facade Alterations

MASONIC HALL
1533 BARRINGTON STREET
PID# 0044141
ZONE: C-2



SITE PLAN



DAVID F. GARRETT • ARCHITECT
1533 BARRINGTON STREET, 5TH FLOOR
BALTIMORE, MARYLAND 21202
TEL: 410.524.0000
WWW.DFGARRETT.COM

DATE: 05/12/2008
PROJECT: Masonic Hall Renovation
SHEET: 01 OF 01
SCALE: AS SHOWN
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

PROJECT: Masonic Hall Renovation
SHEET: 01 OF 01
SCALE: AS SHOWN
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

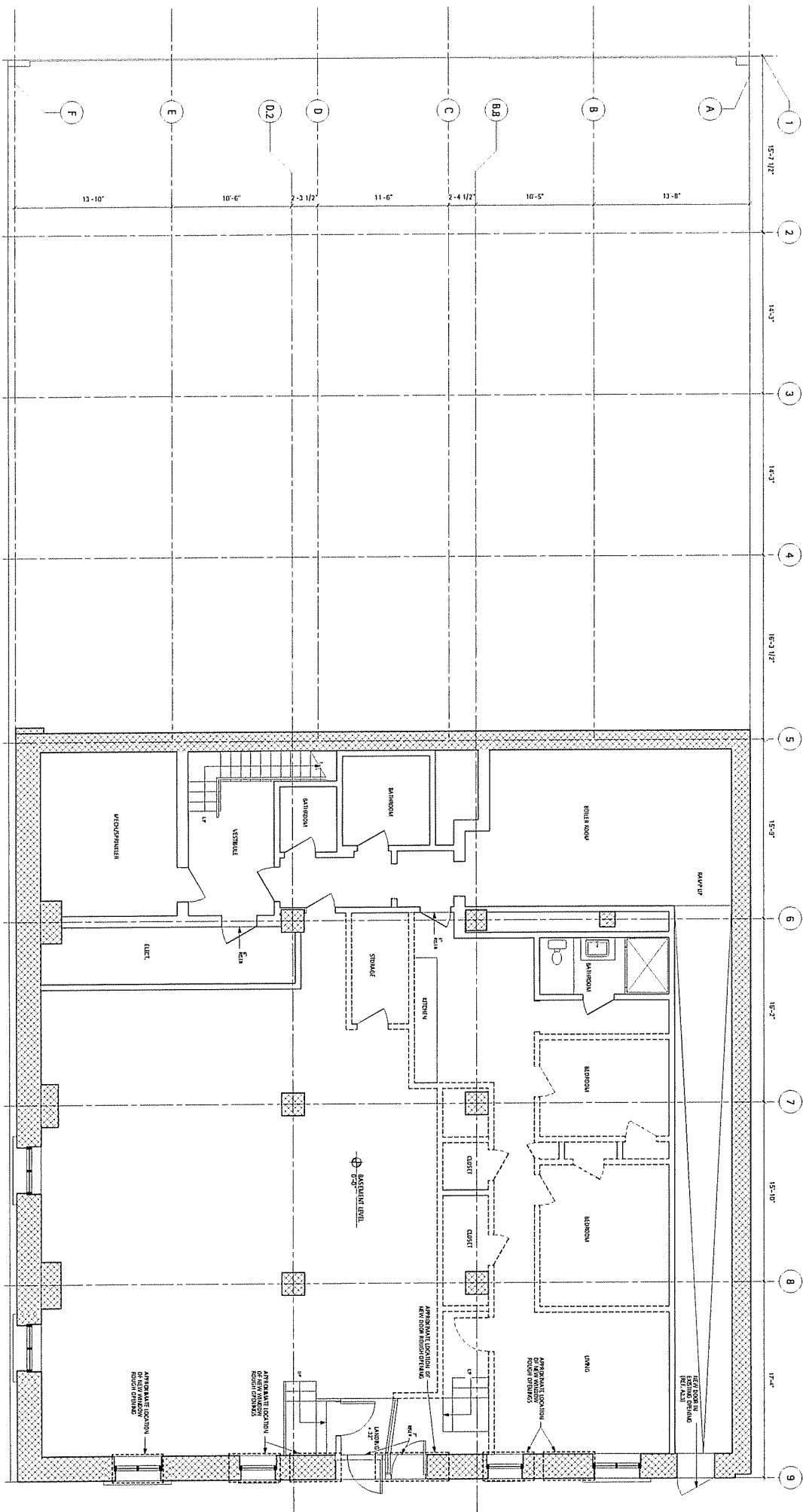
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PROJECT: Masonic Hall Renovation
SHEET: 01 OF 01
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DATE: 05/12/2008
PROJECT: Masonic Hall Renovation
SHEET: 01 OF 01
SCALE: AS SHOWN
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



LEGEND

--- DEVIATION OF NON-STRUCTURAL WALL

--- DEVIATION OF NON-STRUCTURAL INTERIOR FINISH

--- (i.e. steps, doorway etc.)

GENERAL NOTES

SCOPE OF WORK TO INCLUDE: REPAIR OF NON-STRUCTURAL INTERIOR PARTITIONS, REMOVAL OF INTERIOR FINISHES & RELOCATED ON THE FLOOR PLANS TO ACCOMMODATE NEW WINDOWS.

REFERENCE ELEVATIONS FOR EXTERIOR IMPROVEMENTS, REFERENCE STRUCTURAL FOR STRUCTURAL DETAILS.

PROJECT INFORMATION

Project: **BASEMENT LEVEL PLAN**

Client: **Mr. & Mrs. J. Doe**

Architect: **John Doe, Architect**

Address: **1234 Main Street, Anytown, USA**

Phone: **(555) 123-4567**

Website: **www.johndoe.com**

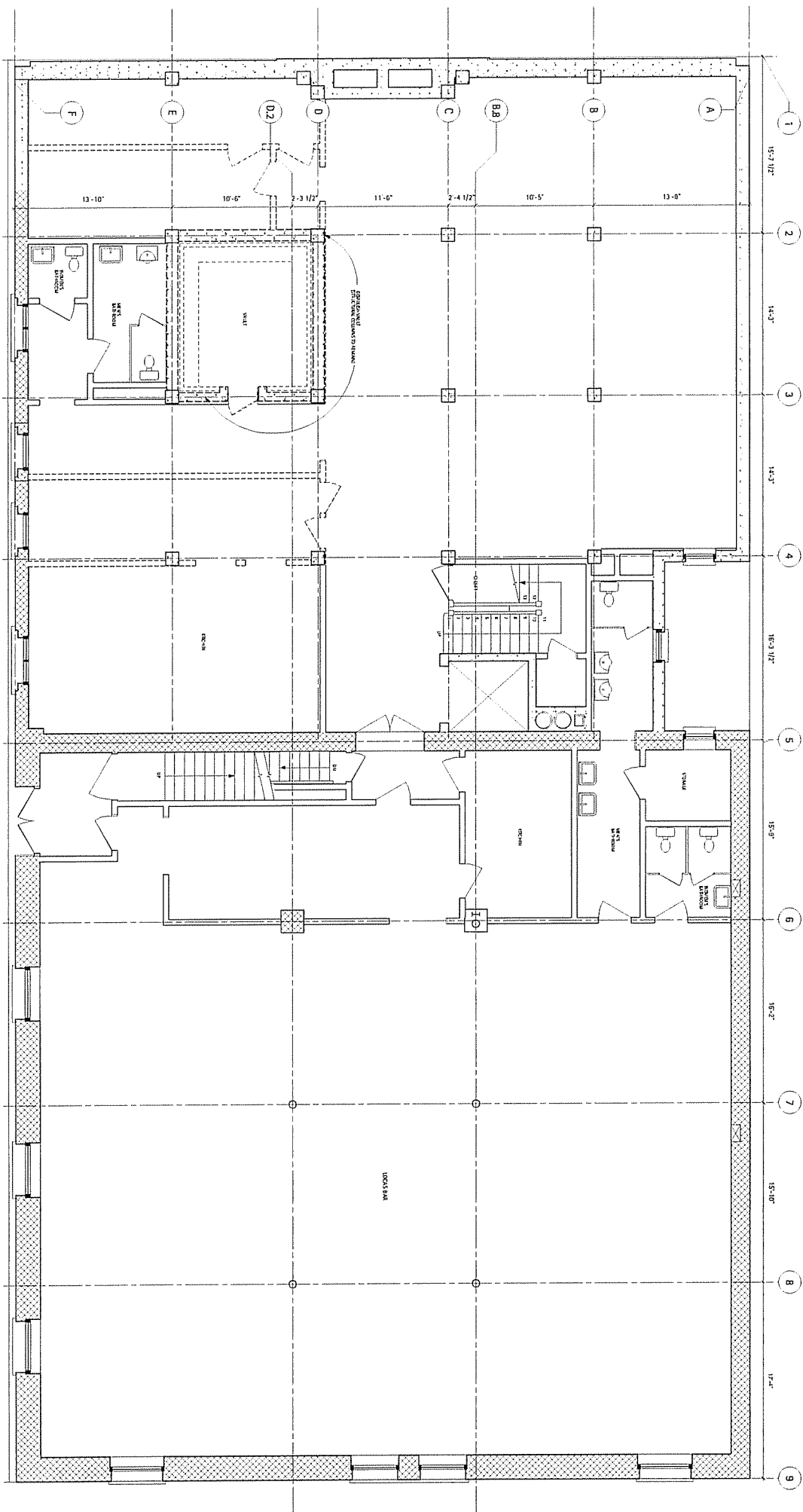
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Revision: **1.0**

Date: **July 2, 2008**

Scale: **1/8" = 1'-0"**

Sheet: **A1.0**



LEGEND

--- REVOLUTION OF NON-STRUCTURAL WALL

--- REVOLUTION OF NON-STRUCTURAL INTERIOR FINISH

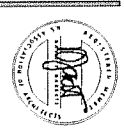
(cc, mpa, capacity, etc.)

GENERAL NOTES

SCOPE OF WORK TO INCLUDE: REVISION OF NON-STRUCTURAL INTERIOR PARTITIONS, REMOVAL OF INTERIOR FINISHES & REVISIONS TO THE FLOOR PLANS, REVISIONS TO EXISTING WALLS TO ACCOMMODATE NEW WINDOWS.

REFERENCE ELEVATIONS FOR EXTERIOR WINDOW DETAILS.

REFERENCE STRUCTURAL FOR STRUCTURAL DETAILS.



DATE: 10/10/2010

DESIGNER: Architect

PROJECT: 1000 Broadway Street, 10th Floor

CLIENT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

DATE: 10/10/2010

DESIGNER: Architect

PROJECT: 1000 Broadway Street, 10th Floor

CLIENT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

DATE: 10/10/2010

DESIGNER: Architect

PROJECT: 1000 Broadway Street, 10th Floor

CLIENT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

DATE: 10/10/2010

DESIGNER: Architect

PROJECT: 1000 Broadway Street, 10th Floor

CLIENT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

DATE: 10/10/2010

DESIGNER: Architect

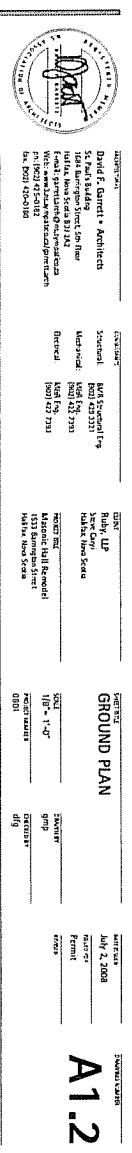
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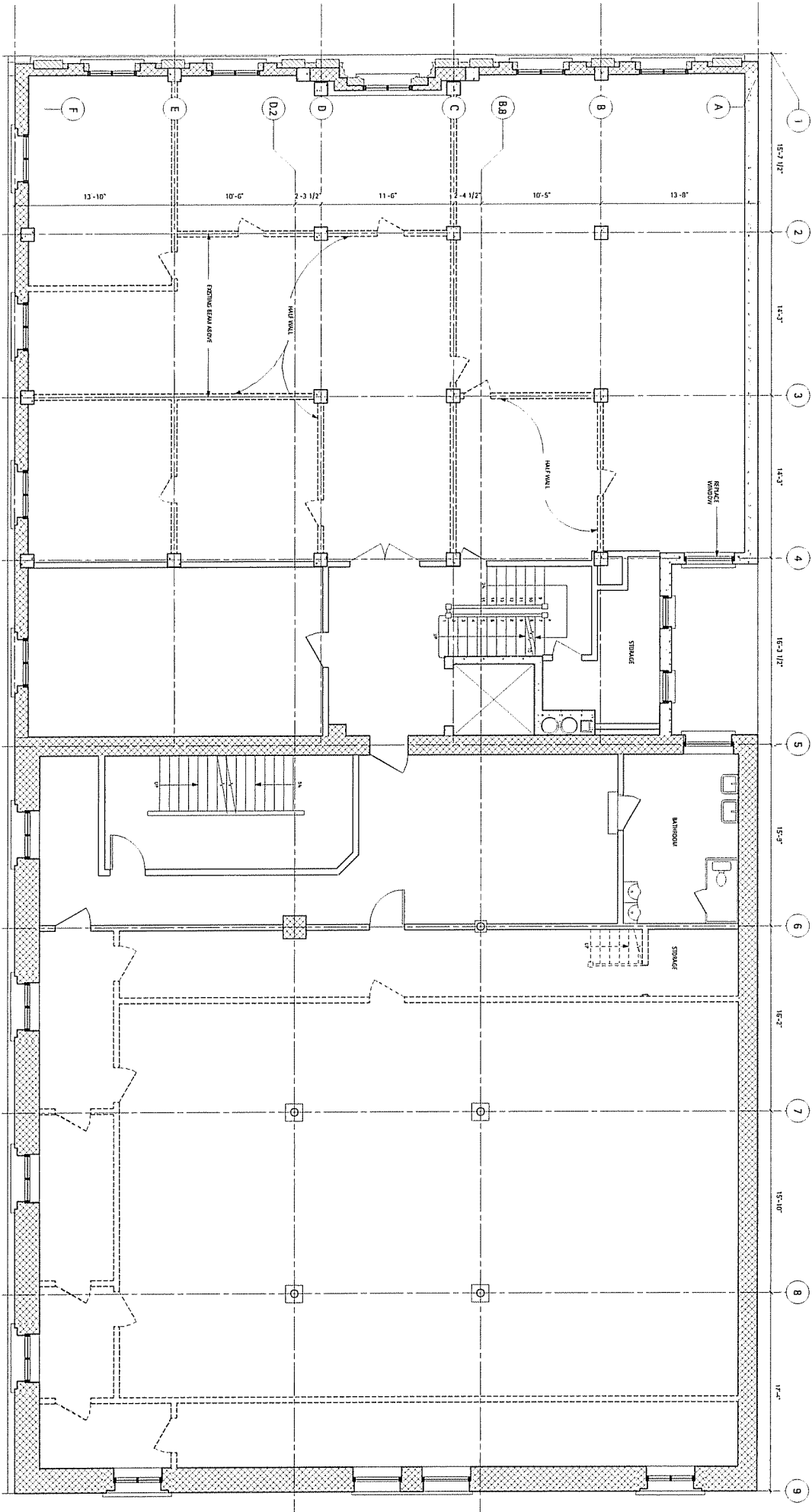
CLIENT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

PROJECT: 1000 Broadway Street, 10th Floor

A1.1





LEGEND

--- DEVIATION OF NON-STRUCTURAL WALL

--- DEVIATION OF NON-STRUCTURAL INTERIOR FINISH

--- R.C. Slab, Column and

GENERAL NOTES

1. SCOPE OF WORK IS TO INDICATE EXISTING OF HIGH-STRUCTURAL INTERIOR PARTS OF INTERIOR FINISHES AS INDICATED ON THE FLOOR PLANS.

2. DEVIATION OF NON-STRUCTURAL INTERIOR FINISHES.

3. REFERENCE ELEVATIONS FOR EXTERIOR IMPROVEMENTS.

PROJECT INFORMATION

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CLIENT

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DATE

July 2, 2008

PROJECT NAME

1001 Main Street

SCALE

1/8" = 1'-0"

PROJECT NUMBER

0801

DATE

July 2, 2008

PROJECT NAME

1001 Main Street

SCALE

1/8" = 1'-0"

PROJECT NUMBER

0801

SECOND LEVEL PLAN

DATE

July 2, 2008

PROJECT NAME

1001 Main Street

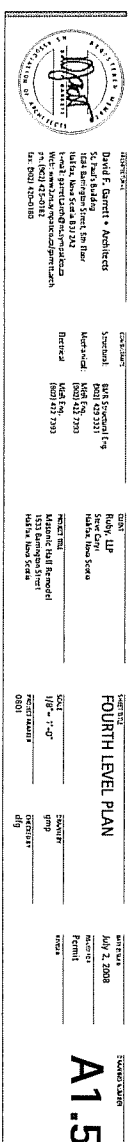
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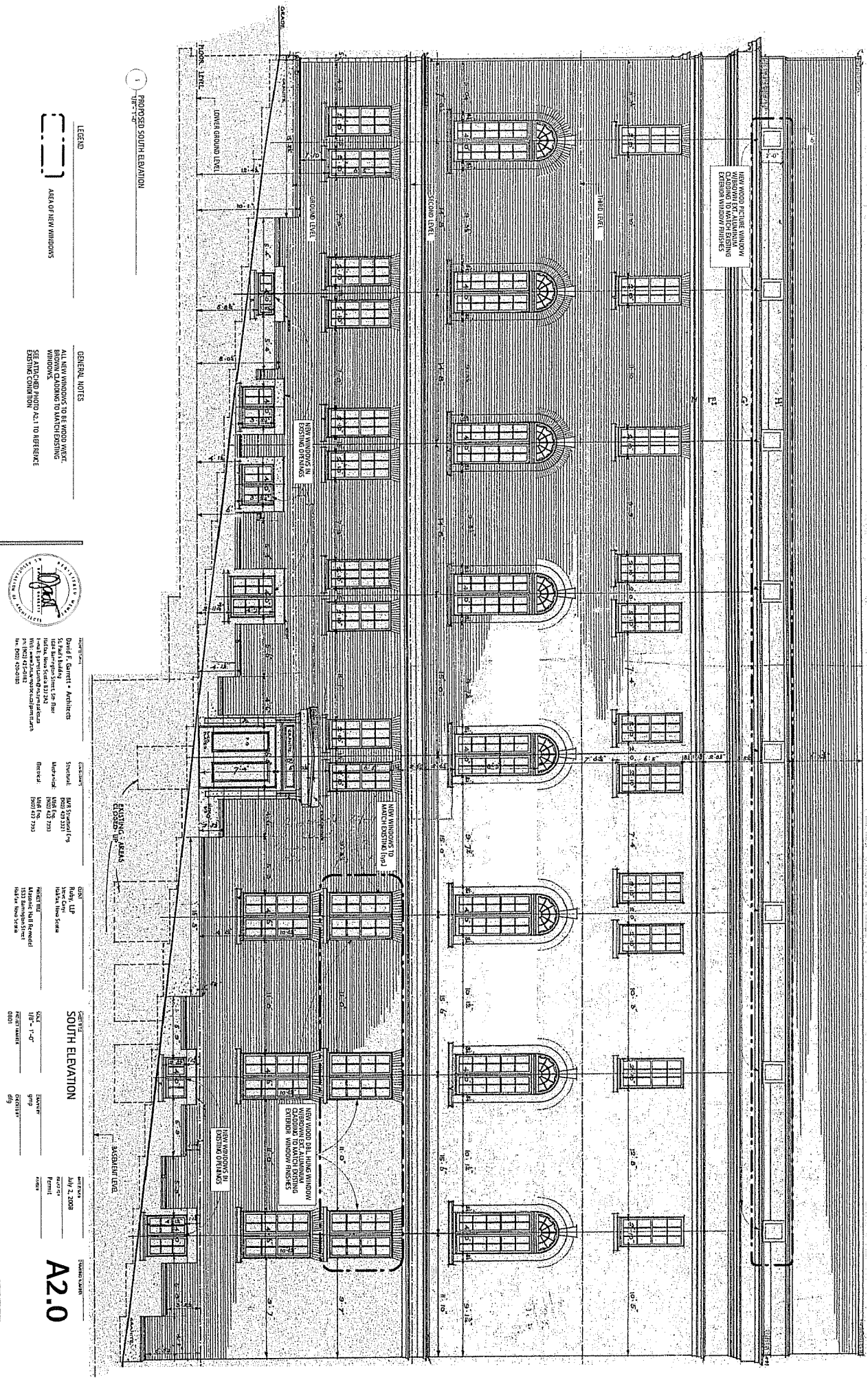
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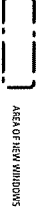
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DATE RECEIVED
July 2, 2001
MAILED
Permit
ENCL

A1.5



LEGEND



AREA OF NEW WINDINGS

GENERAL NOTES

ALL NEW WINDINGS TO BE WOOD VENEER.
BROWN GLAZING TO MATCH EXISTING.
NEW WINDINGS TO MATCH EXISTING
EXTERIOR WINDOW FINISHES.
SEE ATTACHED PHOTO A2.1 FOR REFERENCE
EXISTING CONDITION



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Fax: (212) 512-1235
Web: www.djgarrett.com

DATE: 07/02/08
BY: David J. Garrett
CHECKED: David J. Garrett
REVIEWED: David J. Garrett

PROJECT: 1000 Broadway
10th Floor
New York, New York 10003

SCALE: 1/8" = 1'-0"
SHEET: 0801
TOTAL: 0801

DATE: JULY 2, 2008
BY: David J. Garrett
CHECKED: David J. Garrett

A2.0



1 EXISTING SOUTH ELEVATION
PLAN



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Hudson, New York 10801-1234
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Web: www.dfgarchitect.com
Lic. No. 123456789

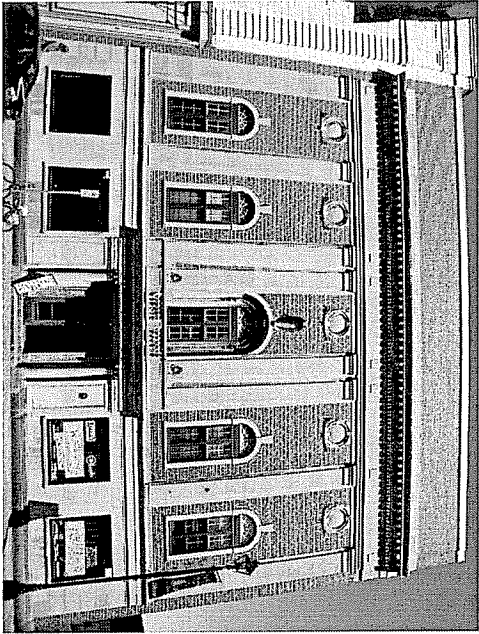
1234 Sargeant Street
Hudson, New York 10801-1234
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DAVID F. GARRETT - ARCHITECT
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Fax: (212) 555-1234

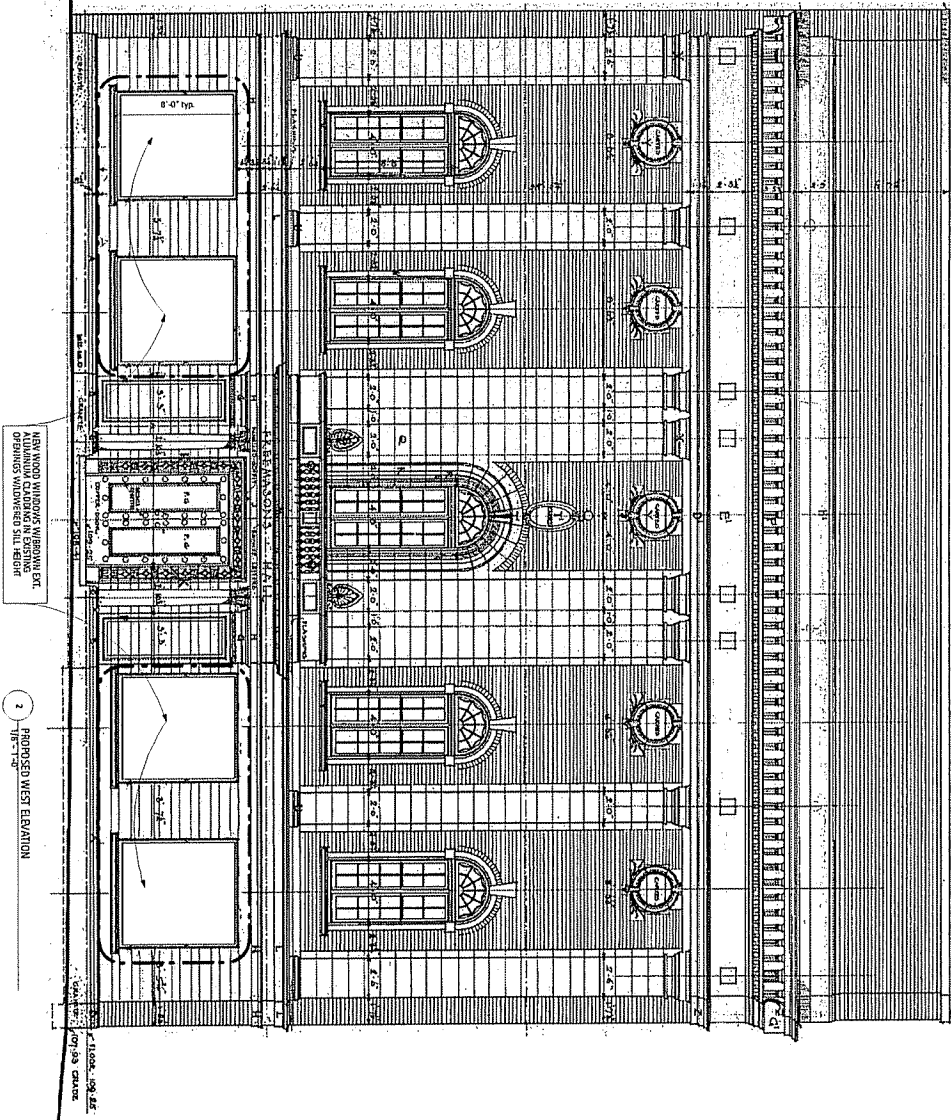
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1 EXISTING WEST ELEVATION
N.T.S.

LEGEND
[] AREA OF NEW WINDOWS

GENERAL NOTES
ALL NEW WINDOWS TO BE WOOD, W/ST
BELOW CLADDING TO MATCH EXISTING
WINDOWS.



DESIGNER
David E. Dwyer, Architect
35 West 86th Street
New York, NY 10024
Tel: 212-246-1234

CLIENT
The Trustees of the
Rockefeller Foundation
1230 Avenue of the Americas
New York, NY 10020

DATE
July 2, 2008

WEST ELEVATION

SCALE
Scale as indicated

DATE
July 2, 2008

A2.2

